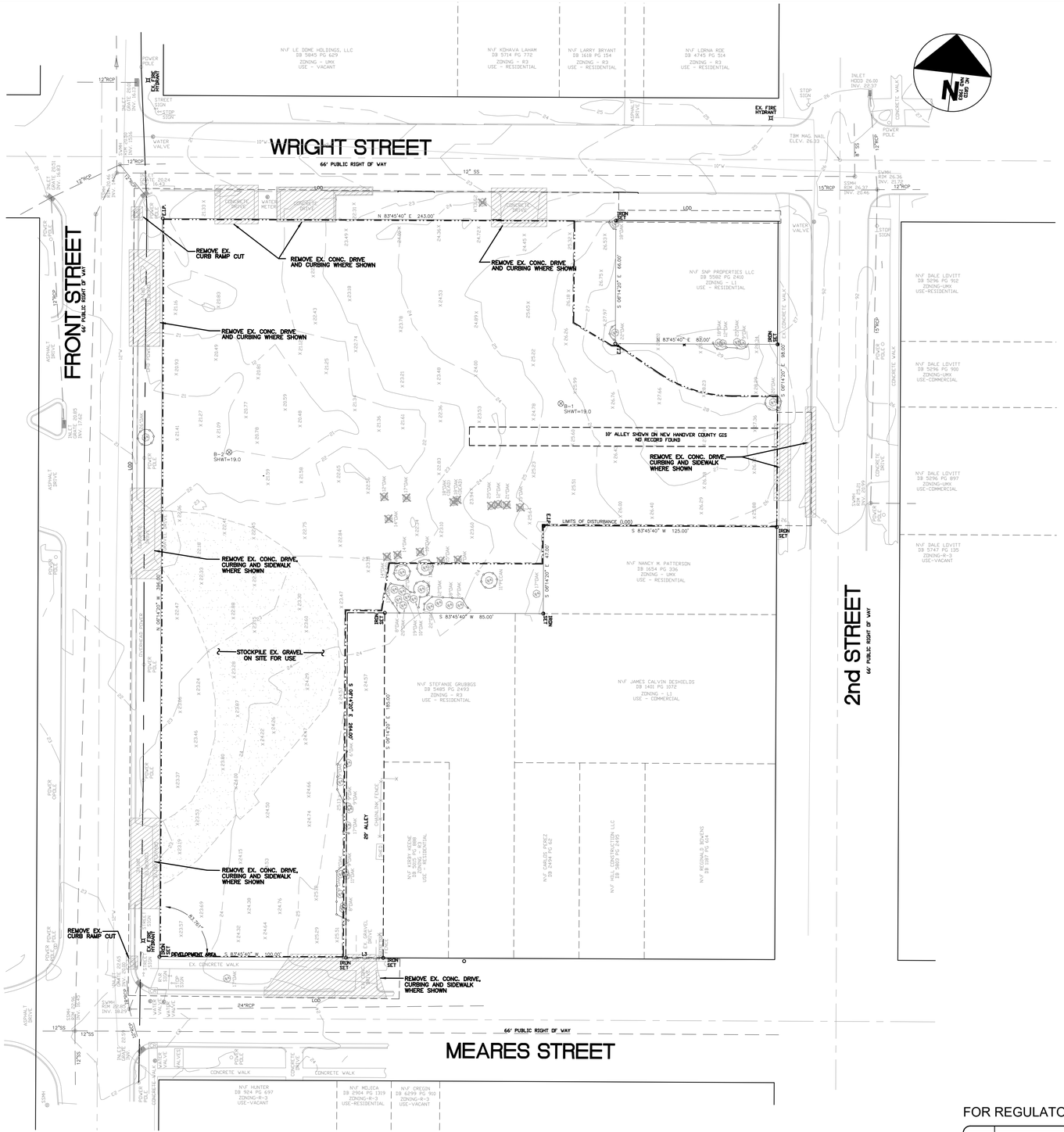
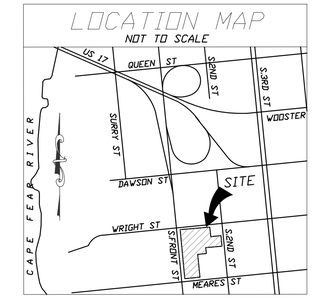


SITE DATA TABLE	
PIN	R05413-015-005-000
OWNER	DTSC, LLC
OWNER ADDRESS	401 CHESTNUT ST., SUITE A WILMINGTON, NC 28401
SITE ADDRESS	102 WRIGHT ST. WILMINGTON, NC 28401
ZONING	UMX – URBAN MIXED USE
CURRENT LAND USE	VACANT
ACREAGE	80,213 SF = 1.84 AC.
REQUIRED SETBACKS	0' – ALL SIDES
EXISTING BLDG.	0
EX. GRAVEL DRIVE	10,500 SF
TOTAL EX. IMPERVIOUS	10,500 SF
EX. IMPERVIOUS TO BE REMOVED	10,500 SF
REMAINING EX. IMPERVIOUS	0 SF
PROPOSED UNITS	4 3-STORY UNITS
INFORMATION PER UNIT	
TOTAL BUILDING FOOTPRINT	4,186 SF
BUILDING HEIGHT	34'
COMMERCIAL SPACE	4800 SF
2-BEDROOM UNITS	5
1-BEDROOM UNITS	3
STUDIO UNITS	8
TOTAL BEDS	21
TOTAL PROJECT BEDROOMS	84
SF PER FLOOR	4,186 SF
TOTAL BUILDING SF (FOOTPRINT)	16,744 SF
IMPERVIOUS PAVEMENT	14,900 SF
CONCRETE SIDEWALK	2,175 SF
CONCRETE CURB AND GUTTER	3,524 SF
TOTAL IMPERVIOUS	37,343 SF
PERVIOUS CONCRETE (PARKING)	13,880 SF
LOT COVERAGE/PROP. BUILT-UPON AREA	37,343 SF = .86 AC = 63.9%
TOTAL PARKING SPACES PROVIDED	91 (INCLUDING ADA)
ADA PARKING SPACES PROVIDED	(4) 2 REGULAR / 2 VAN SPACES
BICYCLE PARKING REQUIRED/PROVIDED	4/20
DISTURBED AREA	85,620 SF = 1.97 AC.
BUILDING CONSTRUCTION TYPE	WOOD FRAMED, NC TYPE V-B
CAMA LAND USE DESIGNATION	URBAN
ESTIMATED TRIP GENERATION	
RESIDENTIAL	422 TOTAL, 29@AM PEAK, 37@PM PEAK
COMMERCIAL – GENERAL OFFICE	26 TOTAL, 4@AM PEAK, 4@PM PEAK
COMMERCIAL – RETAIL	106 TOTAL, 16@AM PEAK, 78@PM PEAK
DEVELOPED AREA	70,485 SF = 1.6 AC.

1. THIS PROPERTY LIES INSIDE THE 1945 CORPORATE LIMITS.
2. THERE ARE NO CONSERVATION RESOURCES ON THE SITE.
3. THERE ARE NO LOCAL, STATE OR FEDERALLY RECOGNIZED HISTORIC STRUCTURES OR ARCHEOLOGICAL RESOURCES ON THIS SITE.
4. THERE ARE NO WETLANDS ON THS SITE.
5. NO ENDANGERED SPECIES OR CRITICAL HABITAT OCCUR ON THIS SITE.
6. EXISTING SIDEWALK ON MEARES ST. NO ADDITIONAL TRANSIT FACILITES EXIST.
7. ALL UTILITY AND EQUIPMENT WILL BE CONTAINED ON THE SITE.
8. ALL PERIMETER SIDEWALKS TO BE 5' WIDE TO BE CONSISTENT WITH EXISTING SIDEWALKS ON THE BLOCK.
9. INTERIOR SIDEWALKS TO BE 4' WIDE.
10. PERVIOUS CONCRETE PARKING IS GETTING 100% PERVIOUS CREDIT.

SURVEY BY HANOVER DESIGN SERVICE, P.A.
1123 FLORAL PARKWAY
WILMINGTON, NC 28403



CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

LINE LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PRIVACY FENCE
	PERVIOUS CONCRETE DRAINAGE AREA
	DRAINAGE AREA

TREE RETENTION, REMOVAL AND PLANTINGS

1.6 ACRES DEVELOPED. 1.6 x 15 TREES PER ACRE = 24 TREES REQUIRED
58 TOTAL NEW TREES PROVIDED / 28 NEW TREES EXCLUDING STREETYARD

ON-SITE TREES

THREE DEAD TREES TO BE REMOVED: (2) 18" OAKS, (1) 14" OAK
SIGNIFICANT TREES REMOVED: (1) 25" OAK
REGULATED TREES TO BE REMOVED:
21" OAK: 2
17" OAK: 1
15" OAKS: 2
14" OAKS: 3
12" OAKS: 2
10" OAK: 1
8" OAK: 1
REGULATED TREES TO BE PRESERVED:
22" OAKS: 2 CREDIT: 8
20" OAKS: 2 CREDIT: 8
19" OAKS: 2 CREDIT: 8
18" OAKS: 3 CREDIT: 12
17" OAKS: 2 CREDIT: 6
12" OAKS: 3 CREDIT: 9
11" OAKS: 2 CREDIT: 4
10" OAKS: 2 CREDIT: 4
9" OAKS: 3 CREDIT: 6
8" OAKS: 3 CREDIT: 6
11" PECAN: 1 CREDIT: 2
ADDITIONAL TREES TO BE PRESERVED:
6" OAKS: 1 CREDIT: 2
TOTAL CREDITS: 75

OFF-SITE TREES

SIGNIFICANT TREES REMOVED: (1) 25" DISEASED ELM (PER AARON REESE)
SIGNIFICANT TREES TO BE PRESERVED:
26" OAK: 1
25" OAK: 1
DOCUMENTED TREES TO BE PRESERVED:
17" OAKS: 2
9" OAKS: 3

30 15 0 30 60
GRAPHIC SCALE: 1" = 30'

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV NO.	DESCRIPTION	DATE

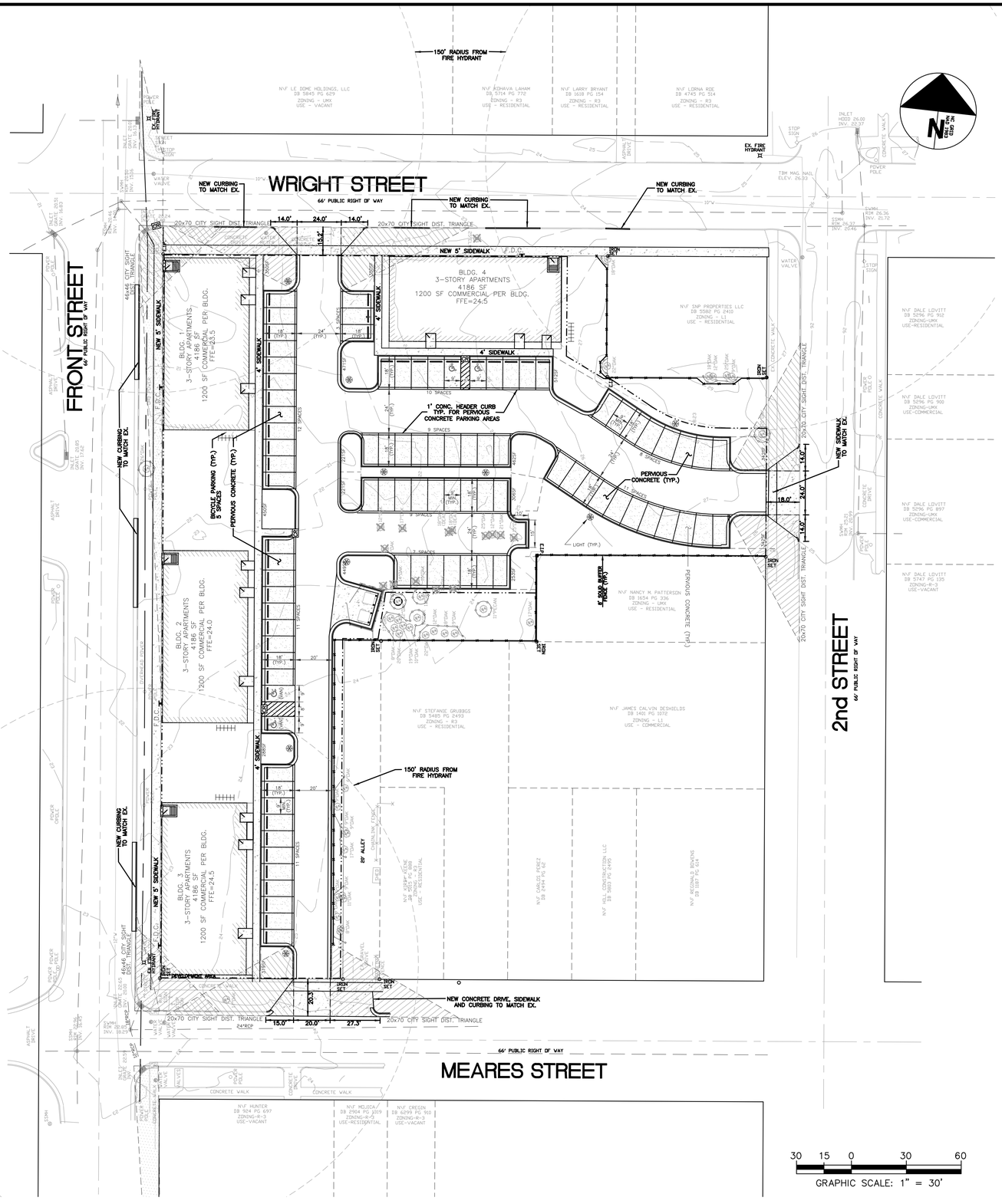
REVISIONS

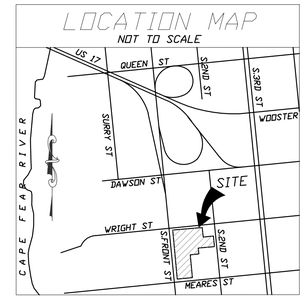
102 WRIGHT STREET – OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA

EXISTING CONDITIONS, SITE INVENTORY & DEMOLITION

RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE: 8/8/22
Scale: 1"=30'
Drawn: NNC
Checked: WSL
Project No: HA0121
Sheet No: C1





NOTES:

1. THE CONSTRUCTION SITE IS NOT LOCATED IN A FEMA FLOOD HAZARDOUS ZONE. FIRM # 3720311700K, JUNE 2, 2006
2. THERE ARE NO WETLANDS ON THE SITE.
3. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
4. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
5. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
6. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
7. IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE METER BOX. ANY BACKFLOW PREVENTION DEVICES REQUIRED WILL NEED TO BE ON THE LIST OF DEVICES APPROVED BY USCFCCCHR OR ASSE.
8. ANY IRRIGATION SYSTEM SUPPLY BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS.
9. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
10. THE BELLSOUTH CONTACT IS STEVE DAYVAULT. HE IS THE BUILDING INDUSTRY CONSULTANT (910) 392-8712. PLEASE CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
11. ALL PLANTED AND RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONAL ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, TENANT AND RESPECTIVE AGENTS OF THE PROPERTY ON ON WHICH THE MATERIAL IS LOCATED.
12. ANY PLANT MATERIAL THAT WAS PREVIOUSLY INSTALLED ON THE SITE TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED.
13. AS PART OF THE FINAL ZONING INSPECTION FOR THIS PROJECT, A SURVEY OF THE SITE LANDSCAPING WILL BE CONDUCTED. PLANT MATERIAL THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED BEFORE A FINAL ZONING APPROVAL IS ISSUED.
14. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
15. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
16. A RAIN/FREEZE SENSOR SHALL BE INSTALLED AS PART OF ANY IRRIGATION SYSTEM USED ON THE SITE.
17. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 48 HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE PROPERLY LOCATED.
18. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
19. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
20. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
21. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCCHR OR ASSE.
22. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
23. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
24. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
25. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
26. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
27. PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
28. PARKING SPACES NOT REQUIRED FOR STORAGE FACILITIES. SIX ARE PROVIDED WITH TWO BEING ADA.
29. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITIED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
30. IMMEDIATELY NOTIFY CITY OF WILMINGTON TRAFFIC ENGINEERING AT 910-341-7888 IF ANY TRAFFIC SIGNAL FACILITIES OR CITY-OWNED STREETLIGHT FACILITIES ARE DAMAGED.
31. DAMAGED FACILITIES SHALL BE REPLACED BY AN APPROVED CONTRACTOR, ACCORDING TO STANDARD NCDOT REPLACEMENT SCHEDULES AND CURRENT NCDOT DESIGN STANDARDS.
32. ALL REPAIR/REPLACEMENT OF TRAFFIC SIGNAL INFRASTRUCTURE SHALL BE COORDINATED WITH THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION.
33. WATER AND SEWER IS AVAILABLE FROM CFPUA.
34. UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPT. FROM PUBLIC RIGHT-OF-WAY TO THE BUIDLING. CONTACT WILMINGTON FIRE DEPT. DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
35. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
36. EXISTING WATER AND SEWER BY CFPUA.
37. EXISTING STORMWATER SYSTEM BY CITY OF WILMINGTON.
38. SOLID WASTE DISPOSAL WILL NOT BE PROVIDED TO UNITS.
39. ANY REQUIRED INSTALLATION OR RELOCATION OF TRAFFIC SIGNS/PAVEMENT MARKINGS IS THE RESPONSIBILITY OF THE PROJECT DEVELOPER. PLEASE COORDINATTE WITH CITY TRAFFIC SIGNS AND PAVEMENT MARKINGS MANAGER/SUPERVISOR PRIOR TO INSTALLATION/RELOCATION OF ANY TRAFFIC SIGNS OR MARKINGS IN PUBLIC ROW.
40. CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW.

SITE DATA TABLE	
PIN	R05413-015-005-000
OWNER	DTSC, LLC
OWNER ADDRESS	401 CHESTNUT ST, SUITE A WILMINGTON, NC 28401
SITE ADDRESS	102 WRIGHT ST. WILMINGTON, NC 28401
ZONING	UMX – URBAN MIXED USE
CURRENT LAND USE	VACANT
ACREAGE	80,213 SF = 1.84 AC.
REQUIRED SETBACKS	0' – ALL SIDES
EXISTING BLDG.	0
EX. GRAVEL DRIVE	10,500 SF
TOTAL EX. IMPERVIOUS	10,500 SF
EX. IMPERVIOUS TO BE REMOVED	10,500 SF
REMAINING EX. IMPERVIOUS	0 SF
PROPOSED UNITS	4 3-STORY UNITS
INFORMATION PER UNIT	
TOTAL BUILDING FOOTPRINT	4,186 SF
BUILDING HEIGHT	34'
COMMERCIAL SPACE	4800 SF
2-BEDROOM UNITS	5
1-BEDROOM UNITS	3
STUDIO UNITS	8
TOTAL BEDS	21
TOTAL PROJECT BEDROOMS	84
SF PER FLOOR	4,186 SF
TOTAL BUILDING SF (FOOTPRINT)	16,744 SF
IMPERVIOUS PAVEMENT	14,900 SF
CONCRETE SIDEWALK	2,175 SF
CONCRETE CURB AND GUTTER	3,524 SF
TOTAL IMPERVIOUS	37,343 SF
PERVIOUS CONCRETE (PARKING)	13,880 SF
LOT COVERAGE/PROP. BUILT-UPON AREA	37,343 SF = .86 AC = 63.9%
TOTAL PARKING SPACES PROVIDED	91 (INCLUDING ADA)
ADA PARKING SPACES PROVIDED	(4) 2 REGULAR / 2 VAN SPACES
BICYCLE PARKING REQUIRED/PROVIDED	4/20
DISTURBED AREA	85,620 SF = 1.97 AC.
BUILDING CONSTRUCTION TYPE	WOOD FRAMED, NC TYPE V-B
CAMA LAND USE DESIGNATION	URBAN
ESTIMATED TRIP GENERATION	
RESIDENTIAL	422 TOTAL, 29AAM PEAK, 37PPM PEAK
COMMERCIAL – GENERAL OFFICE	26 TOTAL, 4AAM PEAK, 4PPM PEAK
COMMERCIAL – RETAIL	106 TOTAL, 164AAM PEAK, 79PM PEAK
DEVELOPED AREA	70,485 SF = 1.6 AC.

1. THIS PROPERTY LIES INSIDE THE 1945 CORPORATE LIMITS.
2. THERE ARE NO CONSERVATION RESOURCES ON THE SITE.
3. THERE ARE NO LOCAL, STATE OR FEDERALLY RECOGNIZED HISTORIC STRUCTURES OR ARCHEOLOGICAL RESOURCES ON THIS SITE.
4. THERE ARE NO WETLANDS ON THIS SITE.
5. NO ENDANGERED SPECIES OR CRITICAL HABITAT OCCUR ON THIS SITE.
6. EXISTING SIDEWALK ON MEARES ST. NO ADDITIONAL TRANSIT FACILITIES EXIST.
7. ALL UTILITY AND EQUIPMENT WILL BE CONTAINED ON THE SITE.
8. ALL PERIMETER SIDEWALKS TO BE 5' WIDE TO BE CONSISTENT WITH EXISTING SIDEWALKS ON THE BLOCK.
9. INTERIOR SIDEWALKS TO BE 4' WIDE.
10. PERVIOUS CONCRETE PARKING IS GETTING 100% PERVIOUS CREDIT.

SURVEY BY HANOVER DESIGN SERVICE, P.A.
1123 FLORAL PARKWAY
WILMINGTON, NC 28403
910-343-8002

LINE LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PRIVACY FENCE
	PERVIOUS CONCRETE DRAINAGE AREA
	DRAINAGE AREA

CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

FIRE & LIFE SAFETY NOTES:

- Contractor shall maintain an all-weather access for emergency vehicles at all times during construction
- A hydrant must be within 150' of the FDC (measured as the truck drives for practical use)
- FDC must be within 40' of fire apparatus placement
- Landscaping or parking cannot block or impede the FDC or fire hydrants. A 3-foot clear space shall be maintained around the circumference of the hydrant and FDC
- Additional fire protection and/or accessibility requirements may be required due to any special circumstances concerning the project.
- Private Underground Fire Lines require a separate underground fire line permit from the Wilmington Fire and Life Safety Division 910-343-0696
- Contractor shall submit a Radio Signal Strength Study for all commercial buildings that demonstrates that existing emergency responder radio signal levels meet the requirements of Section 510 of the 2018 NC Fire Code.
- All isolation valves within the "Hot Box" and between the "Hot Box" and the riser room, must be electrically supervised.
- Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees. No construction workers, tools, materials or vehicles are permitted within the tree protection fencing.
- Any new proposed hydrants must be brought into service prior to combustibiles being delivered to the jobsite.

102 WRIGHT STREET – OWNER: DTSC LLC
THE BLOCK ON FRONT

WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

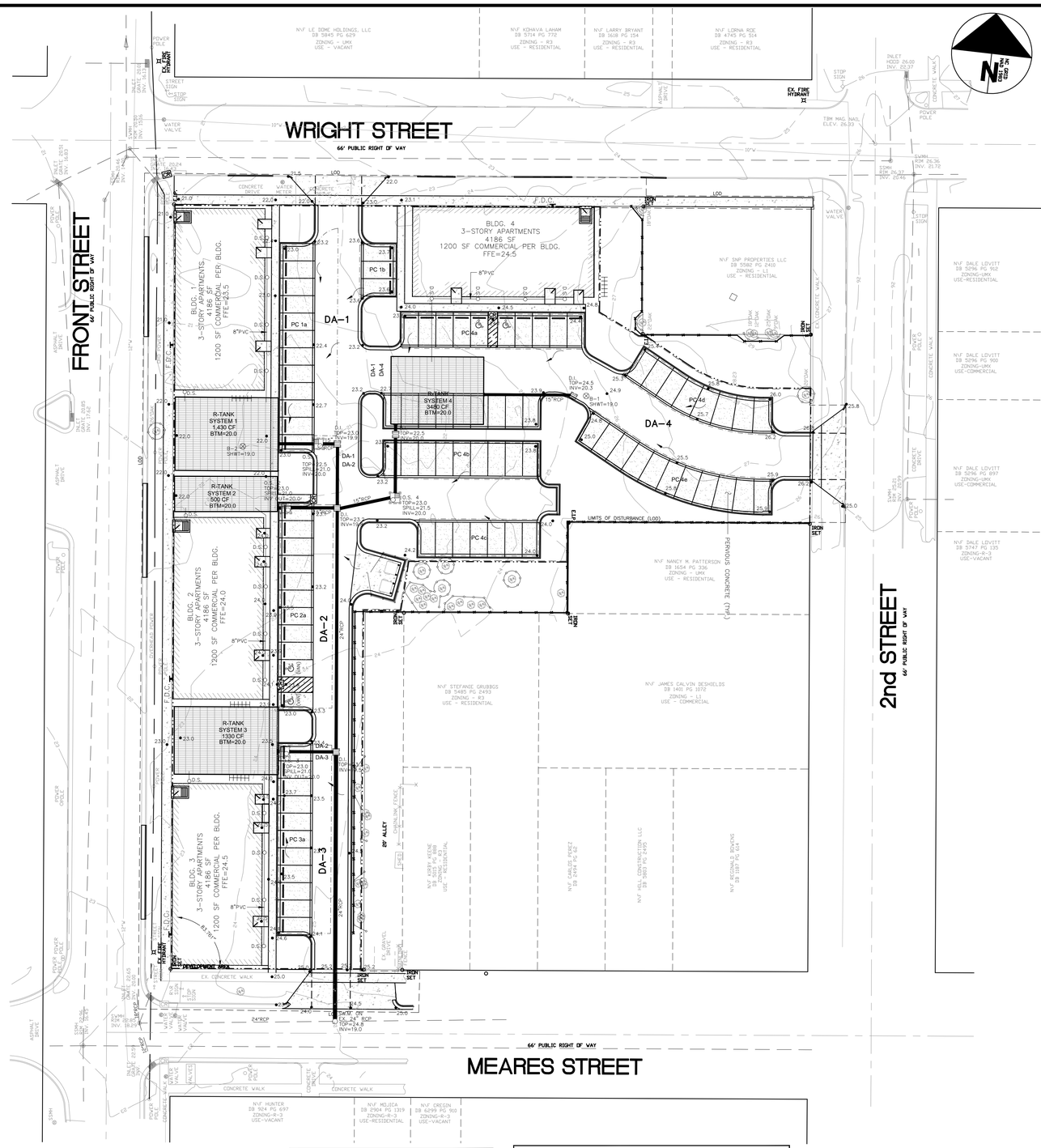
REV NO.	DESCRIPTION	DATE

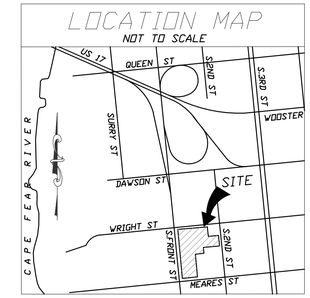
REVISIONS

SITE PLAN

RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE: 8/8/22
Scale: 1"=30'
Drawn: NNC
Checked: WSL
Project No: HA0121
Sheet No: C2





NOTES:

1. THE CONSTRUCTION SITE IS NOT LOCATED IN A FEMA FLOOD HAZARDOUS ZONE. FIRM # 3720311700K, JUNE 2, 2006
2. THERE ARE NO WETLANDS ON THE SITE.
3. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
4. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
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16. A RAIN/FREEZE SENSOR SHALL BE INSTALLED AS PART OF ANY IRRIGATION SYSTEM USED ON THE SITE.
17. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 48 HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE PROPERLY LOCATED.
18. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE. PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
19. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
20. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
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24. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
25. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
26. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
27. PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
28. PARKING SPACES NOT REQUIRED FOR STORAGE FACILITIES. SIX ARE PROVIDED WITH TWO BEING ADA.
29. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND TERMINAL FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
30. IMMEDIATELY NOTIFY CITY OF WILMINGTON TRAFFIC ENGINEERING AT 910-341-7888 IF ANY TRAFFIC SIGNAL FACILITIES OR CITY-OWNED STREETLIGHT FACILITIES ARE DAMAGED.
31. DAMAGED FACILITIES SHALL BE REPLACED BY AN APPROVED CONTRACTOR, ACCORDING TO STANDARD NCDOT REPLACEMENT SCHEDULES AND CURRENT NCDOT DESIGN STANDARDS.
32. ALL REPAIR/REPLACEMENT OF TRAFFIC SIGNAL INFRASTRUCTURE SHALL BE COORDINATED WITH THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION.
33. WATER AND SEWER SERVICES ARE NOT REQUIRED FOR THIS DEVELOPMENT.
34. UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPT. FROM PUBLIC RIGHT-OF-WAY TO THE BUIDLING. CONTACT WILMINGTON FIRE DEPT. DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
35. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
36. EXISTING WATER AND SEWER BY CFPUA.
37. EXISTING STORMWATER SYSTEM BY CITY OF WILMINGTON.
38. SOLID WASTE DISPOSAL WILL NOT BE PROVIDED TO UNITS.

SITE DATA TABLE	
PIN	R05413-015-005-000
OWNER	DTSC, LLC
OWNER ADDRESS	401 CHESTNUT ST., SUITE A WILMINGTON, NC 28401
SITE ADDRESS	102 WRIGHT ST. WILMINGTON, NC 28401
ZONING	UMX - URBAN MIXED USE
CURRENT LAND USE	VACANT
ACREAGE	80,213 SF = 1.84 AC.
REQUIRED SETBACKS	0 - ALL SIDES
EXISTING BLDG.	0
EX. GRAVEL DRIVE	10,500 SF
TOTAL EX. IMPERVIOUS	10,500 SF
EX. IMPERVIOUS TO BE REMOVED	10,500 SF
REMAINING EX. IMPERVIOUS	0 SF
PROPOSED UNITS	4 3-STORY UNITS
INFORMATION PER UNIT	
TOTAL BUILDING FOOTPRINT	4,186 SF
BUILDING HEIGHT	34'
COMMERCIAL SPACE	4800 SF
2-BEDROOM UNITS	5
1-BEDROOM UNITS	3
STUDIO UNITS	8
TOTAL BEDS	21
TOTAL PROJECT BEDROOMS	84
SF PER FLOOR	4,186 SF
TOTAL BUILDING SF (FOOTPRINT)	16,744 SF
IMPERVIOUS PAVEMENT	14,900 SF
CONCRETE SIDEWALK	2,175 SF
CONCRETE CURB AND GUTTER	3,524 SF
TOTAL IMPERVIOUS	37,343 SF
PERVIOUS CONCRETE (PARKING)	13,880 SF
LOT COVERAGE/PROP. BUILT-UPON AREA	37,343 SF = .86 AC = 63.9%
TOTAL PARKING SPACES PROVIDED	91 (INCLUDING ADA)
ADA PARKING SPACES PROVIDED	(4) 2 REGULAR / 2 VAN SPACES
BICYCLE PARKING REQUIRED/PROVIDED	4/20
DISTURBED AREA	85,620 SF = 1.97 AC.
BUILDING CONSTRUCTION TYPE	WOOD FRAMED, NC TYPE V-B
CAMA LAND USE DESIGNATION	URBAN
ESTIMATED TRIP GENERATION	
RESIDENTIAL	422 TOTAL, 29AM PEAK, 37PM PEAK
COMMERCIAL - GENERAL OFFICE	28 TOTAL, 4AM PEAK, 4PM PEAK
COMMERCIAL - RETAIL	106 TOTAL, 16AM PEAK, 7PM PEAK
DEVELOPED AREA	70,485 SF = 1.6 Ac.

1. THIS PROPERTY LIES INSIDE THE 1945 CORPORATE LIMITS.
2. THERE ARE NO CONSERVATION RESOURCES ON THE SITE.
3. THERE ARE NO LOCAL, STATE OR FEDERALLY RECOGNIZED HISTORIC STRUCTURES OR ARCHEOLOGICAL RESOURCES ON THIS SITE.
4. THERE ARE NO WETLANDS ON THIS SITE
5. NO ENDANGERED SPECIES OR CRITICAL HABITAT OCCUR ON THIS SITE.
6. EXISTING SIDEWALK ON MEARES ST. NO ADDITIONAL TRANSIT FACILITES EXIST.
7. ALL UTILITY AND EQUIPMENT WILL BE CONTAINED ON THE SITE.
8. ALL PERIMETER SIDEWALKS TO BE 5' WIDE TO BE CONSISTENT WITH EXISTING SIDEWALKS ON THE BLOCK.
9. INTERIOR SIDEWALKS TO BE 4' WIDE.
10. PERVIOUS CONCRETE PARKING IS GETTING 100% PERVIOUS CREDIT.

SURVEY BY HANOVER DESIGN SERVICE, P.A.
1123 FLORAL PARKWAY
WILMINGTON, NC 28403
910-343-8002

LINE LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	PRIVACY FENCE
	PERVIOUS CONCRETE DRAINAGE AREA
	DRAINAGE AREA

SYSTEM	STORAGE VOLUME	LENGTH	WIDTH	BOTTOM ELEV.	O.S. SPILLWAY ELEV.	MODULE HEIGHT
DA-1	1430 CF	53.3	38	20.0.	21.0	1 (9.5")
DA-2	911 CF	53.3	18.3	20.0.	21.0	1 (9.5")
DA-3	1423 CF	54	35	20.0.	21.0	1 (9.5")
DA-4	2400 CF	48	35	20.0.	21.5	2 (19")

CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

30 15 0 30 60
GRAPHIC SCALE: 1" = 30'

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV NO.	DESCRIPTION	DATE

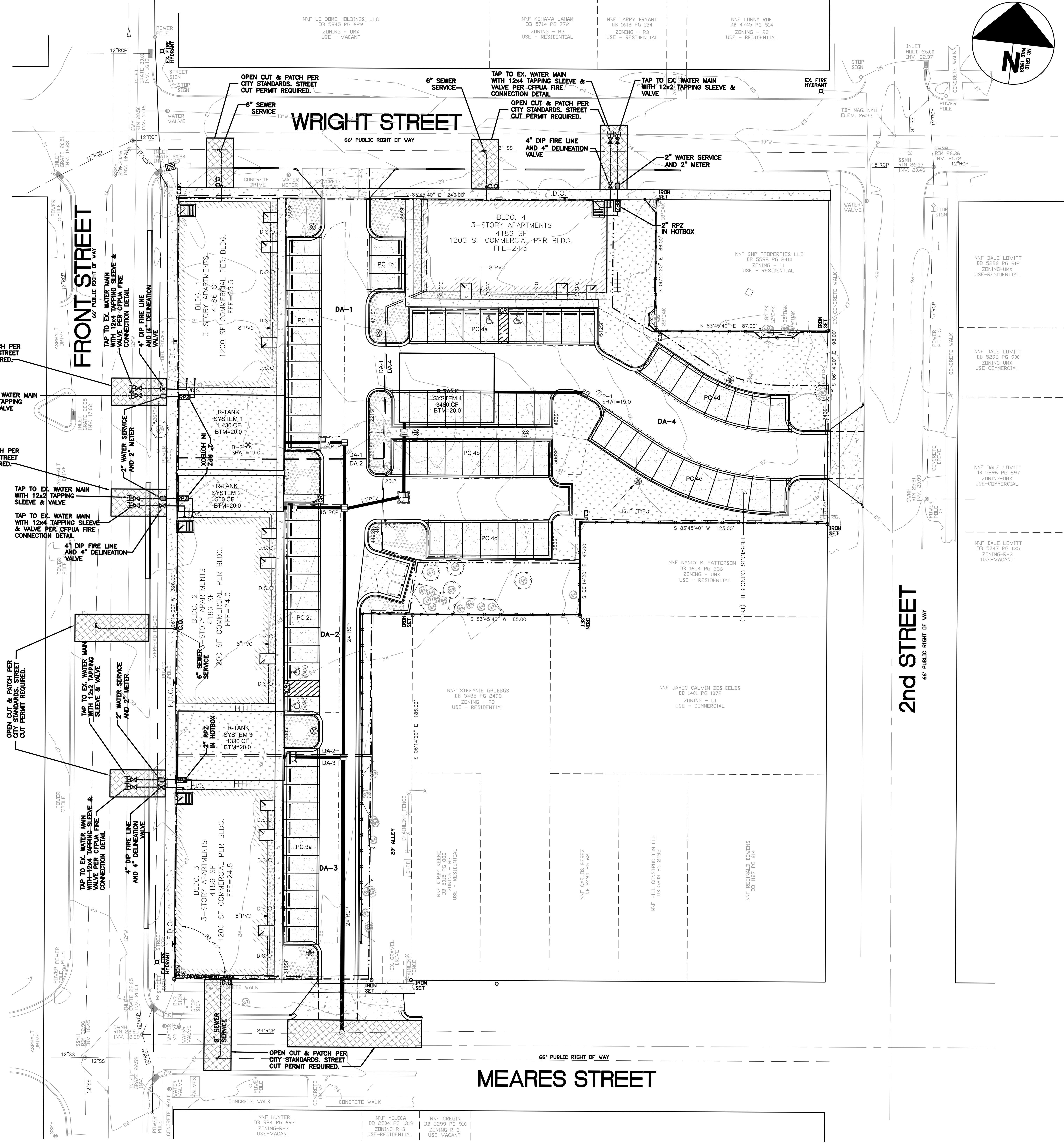
REVISIONS

102 WRIGHT STREET - OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA

EROSION CONTROL, GRADING AND STORMWATER PLAN

RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE: 8/5/22
Scale: 1"=30'
Drawn: NNC
Checked: WSL
Project No: HA0121
Sheet No: C3



NOTES:

1. THE CONSTRUCTION SITE IS NOT LOCATED IN A FEMA FLOOD HAZARDOUS ZONE. FIRM # 3720311700K, JUNE 2, 2006
2. THERE ARE NO WETLANDS ON THE SITE.
3. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
4. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
5. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
6. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
7. IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE METER BOX. ANY BACKFLOW PREVENTION DEVICES REQUIRED WILL NEED TO BE ON THE LIST OF DEVICES APPROVED BY USCFCCCHR OR ASSE.
8. ANY IRRIGATION SYSTEM SUPPLY BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS.
9. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
10. THE BELLSOUTH CONTACT IS STEVE DAYVAULT. HE IS THE BUILDING INDUSTRY CONSULTANT (910) 392-8712. PLEASE CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
11. ALL PLANTED AND RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED AND MAINTAINED TO PROFESSIONAL ACCEPTED STANDARDS BY JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER, TENANT AND RESPECTIVE AGENTS OF THE PROPERTY ON ON WHICH THE MATERIAL IS LOCATED.
12. ANY PLANT MATERIAL THAT WAS PREVIOUSLY INSTALLED ON THE SITE TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED.
13. AS PART OF THE FINAL ZONING INSPECTION FOR THIS PROJECT, A SURVEY OF THE SITE LANDSCAPING WILL BE CONDUCTED. PLANT MATERIAL THAT HAS NOT BEEN MAINTAINED MUST BE REPLACED BEFORE A FINAL ZONING APPROVAL IS ISSUED.
14. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
15. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
16. A RAIN/FREEZE SENSOR SHALL BE INSTALLED AS PART OF ANY IRRIGATION SYSTEM USED ON THE SITE.
17. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 48 HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE PROPERLY LOCATED.
18. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE. PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
19. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
20. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
21. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCCHR OR ASSE.
22. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
23. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
24. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
25. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
26. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
27. PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
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	WILMINGTON, NC 28401
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	WILMINGTON, NC 28401
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CURRENT LAND USE	VACANT
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EXISTING BLDG.	0
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TOTAL EX. IMPERVIOUS	10,500 SF
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CAMA LAND USE DESIGNATION	URBAN
ESTIMATED TRIP GENERATION	
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COMMERCIAL – GENERAL OFFICE	26 TOTAL, 4@AM PEAK, 4@PM PEAK
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8. ALL PERIMETER SIDEWALKS TO BE 5' WIDE TO BE CONSISTENT WITH EXISTING SIDEWALKS ON THE BLOCK.
9. INTERIOR SIDEWALKS TO BE 4' WIDE.
10. PERVIOUS CONCRETE PARKING IS GETTING 100% PERVIOUS CREDIT.

SURVEY BY HANOVER DESIGN SERVICE, P.A.
1123 FLORAL PARKWAY
WILMINGTON, NC 28403
910-343-8002

LINE LEGEND	
————	PROPERTY LINE
— — — —	ADJACENT PROPERTY LINE
—x—x—x—	PRIVACY FENCE
—·—·—·—	PERVIOUS CONCRETE DRAINAGE AREA
—— —— ——	DRAINAGE AREA

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: __________ Permit # __________
Signed: __________

Approved Construction Plan	Name	Date
Planning		
Traffic		
Fire		

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV NO.	DESCRIPTION	DATE

REVISIONS

102 WRIGHT STREET – OWNER: DTSC LLC
THE BLOCK ON FRONT

WILMINGTON — NEW HANOVER COUNTY — NORTH CAROLINA

UTILITY PLAN

RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE:	8/8/22
Scale:	1"=30'
Drawn:	NNC
Checked:	WSL
Project No:	HA0121
Sheet No:	C4

VEGETATION PLAN

1. AFTER COMPLETE STABILIZATION OF THE ENTIRE COVERED AREA, TOP COVER SOILS WILL BE ROUGHENED BY MAKING 1"-2" DEEP GROOVES PERPENDICULAR TO THE SLOPE.
2. SPREAD LIME (AGRICULTURAL LIMESTONE) EVENLY OVER THE AREA AT A RATE OF 1.5 TONS/ACRES; SPREAD 10-10-10 FERTILIZER AT THE RATE SPECIFIED AND INCORPORATE INTO THE TOP 6" OF SOIL.
3. LOOSEN SURFACE PRIOR TO APPLYING SEED/SOD.
4. BROADCAST/INSTALL SEED/SOD AT RECOMMENDED RATES.
5. RAKE SEED INTO THE SOIL AND LIGHTLY PACK SEED/SOD TO ESTABLISH GOOD CONTACT.
6. IF SEEDED, MULCH WITH 4000 LB/ACRE GRAIN STRAW OR EQUIVALENT AND ANCHOR BY WEIGHTED FARM DISC SET NEARLY STRAIGHT (OR OTHER MULCH ANCHORING TOOL.)
7. MOW AS NEEDED AND REFERTILIZE IN LATE WINTER OR EARLY SPRING BY TOPDRESSING WITH 10-10-10 FERTILIZER.

** 8. SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE: 1) ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. 2) ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.
2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
3. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
4. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
5. SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR IF THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED FROM BAFFLES WHEN DEPOSITS REACH HALF THE HEIGHT OF THE FIRST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
6. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE, VEGETATIVE COVER.
7. FLOCCOLENTS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECTION SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.

GENERAL NOTES

1. CONTRACTOR SHALL CONTACT THE N.C. ONE CALL CENTER TO LOCATE EXISTING UTILITIES AT THE SITE PRIOR TO ANY LAND DISTURBING ACTIVITY.
2. CONTRACTOR SOLELY RESPONSIBLE FOR COORDINATION WITH EXISTING UTILITIES AND ANY DAMAGE THAT OCCURS.
3. ALL TREES TO BE SAVED MUST BE PROPERLY PROTECTED THROUGHOUT CONSTRUCTION.
4. NO WETLANDS EXIST WITHIN THE PROJECT SITE.
5. TOPOGRAPHIC AND LOCATION INFORMATION SHOWN BASED ON SITE SURVEY BY MCKIM&CREED.

PARKING NOTES

1. WHEEL STOPS SHALL BE REQUIRED 2.5 FEET FROM THE END OF PARKING STALL WHEN USING EIGHTEEN FEET DEEP STALLS.
2. ALL PARKING STALL MARKINGS AND LANE ARROWS SHALL BE WHITE.
3. ALL OTHER PAVEMENT MARKINGS, SIGNS OR OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION AND/OR INTERPRETATION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
4. NO OBSTRUCTIONS WILL BE ALLOWED ADJACENT TO A PARKING STALL WHICH WOULD PREVENT SAFE INGRESS AND EGRESS FROM A PARKED VEHICLE.

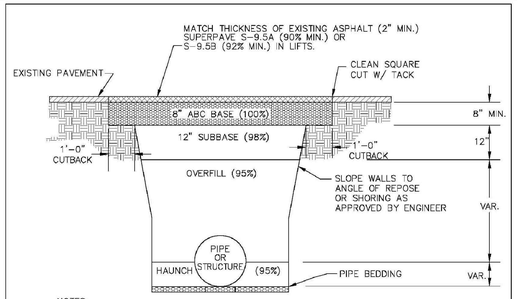
CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. HOLD PRE-CONSTRUCTION MEETING AT LEAST ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
3. INSTALL/MAINTAIN TEMPORARY CONSTRUCTION ENTRANCE/EXIT.
4. BEFORE CLEARING AND GRADING OF SITE, INSTALL SILT FENCING AT THE BASE OF SLOPES TO RESTRICT MOVEMENT OF SEDIMENT FROM THE SITE.
5. BEGIN CLEARING AND GRADING OF THE SITE. INSTALL AND STABILIZE INFILTRATION AREAS.
6. INSTALL STORM PIPING, CATCH BASINS AND CURB INLETS.
7. INSTALL INLET PROTECTION FOR CATCH BASINS AND CURB INLETS TO RESTRICT MOVEMENT OF SEDIMENT FROM THE SITE.
8. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSPECTED BI-WEEKLY AND AFTER EACH RAINFALL EVENT. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY.
9. AFTER THE ENTIRE COVERED AREA IS STABILIZED, ALL TEMPORARY MEASURES WILL BE REMOVED AND PERMANENT VEGETATIVE REPAIRS SHOULD BE COMPLETED.
10. FLUSH ALL PIPING OF ACCUMULATED SEDIMENT.
11. CLEAN OUT INFILTRATION BASIN AND EXCAVATE TO FINAL DESIGN ELEVATION. ESTABLISH PERMANENT VEGETATION IN BASIN.

CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date:_____ Permit #_____
Signed: _____

Approved Construction Plan

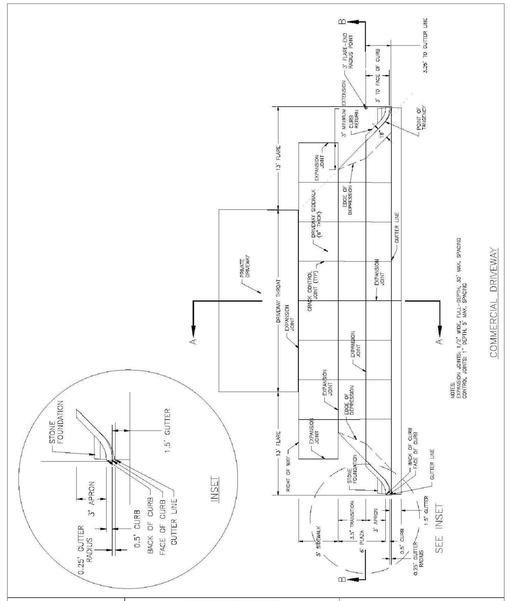
	Name	Date
Planning		
Traffic		
Fire		



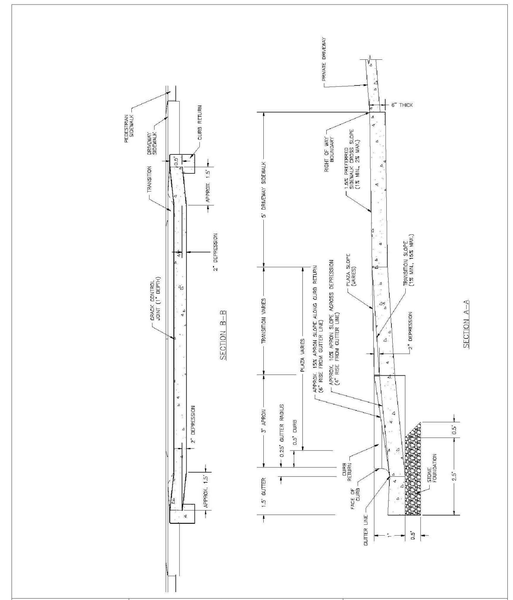
NOTES:

1. CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
2. FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBOS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
3. SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
5. SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED TAMPER (I.E JUMPING JACK), HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
6. ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
7. COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS; AND ASTM D-698-C FOR ABC STONE; AND BY NUCLEAR GAUGE OR CORE SAMPLE FOR ASPHALT.
8. CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF UNDISTURBED SOIL.

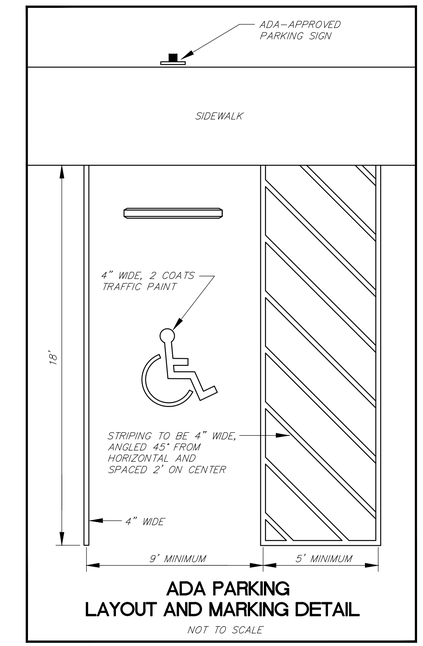
	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DATE: MAY, 2013	PAVEMENT REPAIRS- UTILITY CUTS	CITY OF WILMINGTON ENGINEERING OFFICE 212 OPERATIONS CENTER DRIVE WILMINGTON N.C. 28412 (910) 341-7807
DRAWN BY JSR		
CHECKED BY D.E.C., P.E.		
SCALE NOT TO SCALE		SD 1-05



	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DATE: FEB. 14, 2017	COMMERCIAL DRIVEWAY PLAN (VERTICAL CURB) 1 of 2	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON N.C. 28402 (910) 341-7807
DRAWN BY JSR		
CHECKED BY D.E.C., P.E.		
SCALE NOT TO SCALE		SD 3-03.3

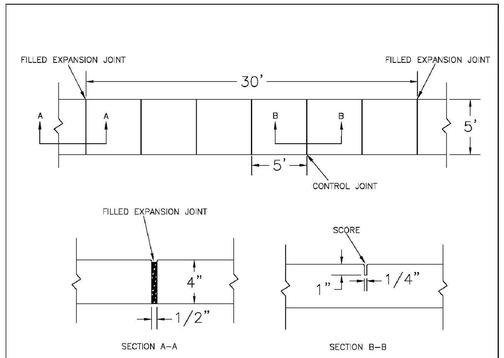


	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DATE: FEB. 14, 2017	COMMERCIAL DRIVEWAY SECTIONS (VERTICAL CURB) 2 of 2	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON N.C. 28402 (910) 341-7807
DRAWN BY JSR		
CHECKED BY D.E.C., P.E.		
SCALE NOT TO SCALE		SD 3-03.4



ADA PARKING LAYOUT AND MARKING DETAIL

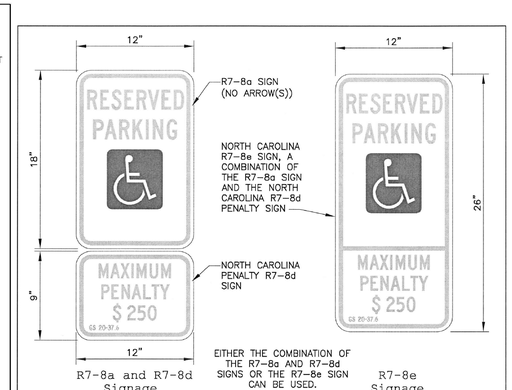
NOT TO SCALE



NOTES:

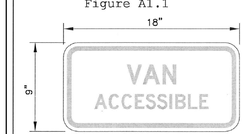
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
2. SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL
6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DATE: OCTOBER, 2010	SIDEWALK	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON N.C. 28402 (910) 341-7807
DRAWN: PB/JSR		
CHECKED: DEC		
SCALE NOT TO SCALE		SD 3-10



R7-8a and R7-8d Signage Figure A1.1

R7-8e Signage Figure A1.2



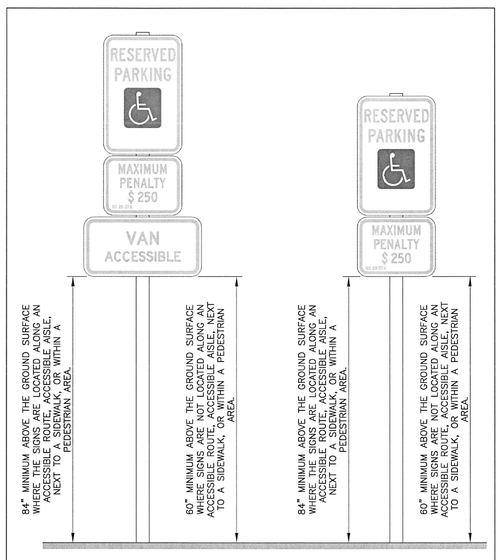
WHERE VAN ACCESSIBLE PARKING IS PROVIDED, THE VAN ACCESSIBLE (R7-8P) SIGN SHALL BE MOUNTED BELOW THE OTHER ACCESSIBLE PARKING SIGNS. (2009 EDITION MUTCD SECTION 2B.47)

R7-8P Signage Figure A1.3

FOR DESIGN OF ACCESSIBLE SIGNS, SEE THE FOLLOWING:

- 2009 MUTCD OR LATEST EDITION.
- 2004 EDITION OF THE STANDARD HIGHWAY SIGNS AND THE 2012 SUPPLEMENT OR LATEST EDITION.
- NORTH CAROLINA 2009 SUPPLEMENT TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR LATEST EDITION
- NCDOT DRAWING H-1_S FOR SIGNS SP00075, SP00076, AND SP00077.

		ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS SHEET A1 OF 5	CITY OF WILMINGTON TRAFFIC ENGINEERING
DATE:	NOVEMBER 8, 2016		
DRAWN BY:	DALE THOMPSON		
CHECKED BY:	RANDALL GLAZIER		
SCALE:	NOT TO SCALE		P.O. Box 1810 • Wilmington, NC 28402 • (910) 341-7800



Signage Height Figure A2.1

		ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS SHEET A2 OF 5	CITY OF WILMINGTON TRAFFIC ENGINEERING
DATE:	NOVEMBER 8, 2016		
DRAWN BY:	DALE THOMPSON		
CHECKED BY:	RANDALL GLAZIER		
SCALE:	NOT TO SCALE		P.O. Box 1810 • Wilmington, NC 28402 • (910) 341-7800

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV NO.	DESCRIPTION	DATE

REVISIONS

102 WRIGHT STREET – OWNER: DTSC LLC

THE BLOCK ON FRONT

WILMINGTON NEW HANOVER NORTH CAROLINA

DETAILS

RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE:	8/8/22
Scale:	SHOWN
Drawn:	NNC
Checked:	WSL
Project No:	HA0121
Sheet No:	D1

Date:

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING
SECTION B: RECORDKEEPING

Page:

Item to Document	Document Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locantions, dimensions and relative elevations shown on the approved E&SC plan	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) the maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

(a) This General Permit as well as the Certificate of Coverage, after it is received.

(b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING
SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

(a) Visible sediment deposition in a stream or wetland.

(b) Oil spills if:
- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).

(c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

(d) Anticipated bypasses and unanticipated bypasses.

(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

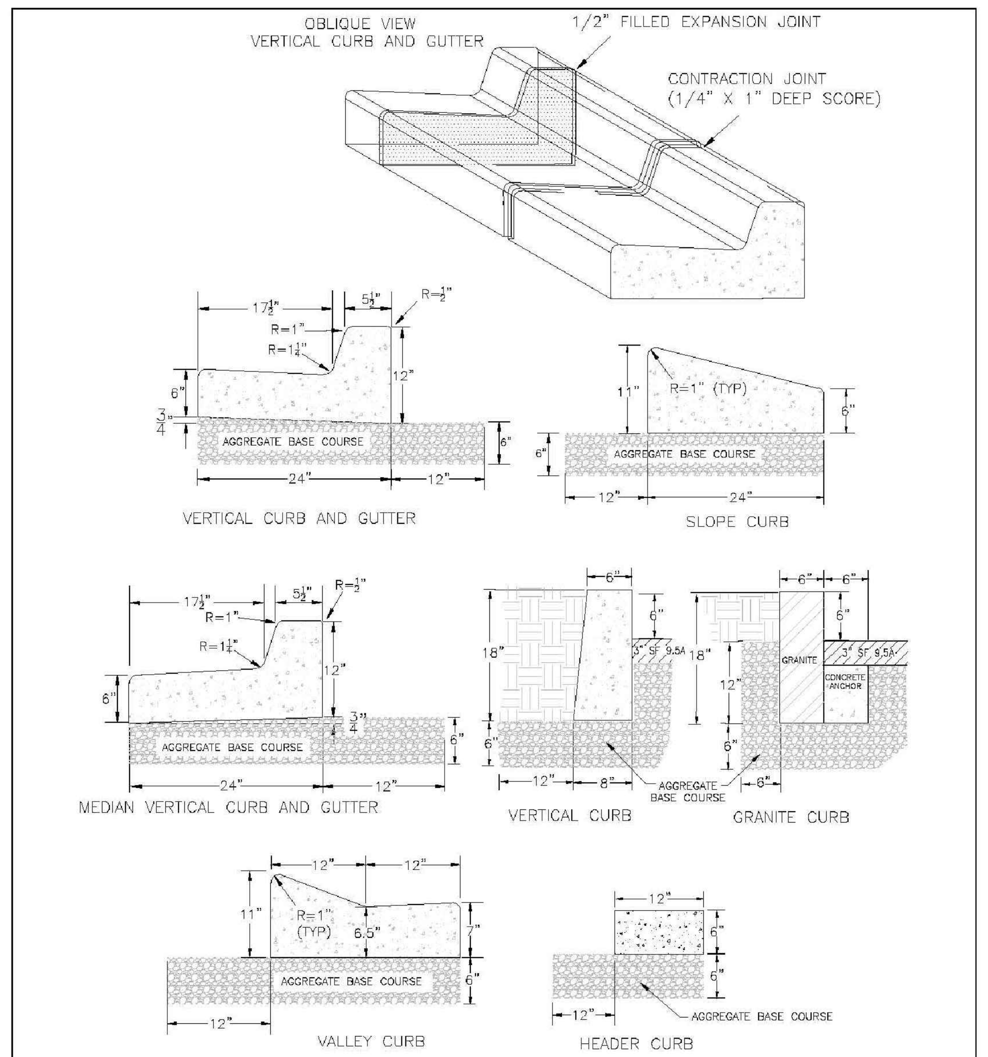
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframe (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	• Within 24 hours, an oral or electronic notification. • Within 7 Calendar Days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related caused, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per item 1(b)-(c) above	• Within 24 Hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	• A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	• Within 24 Hours, an oral or electronic notification • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	• Within 24 Hours, an oral or electronic notification • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6). • Division staff may waive the requirement for a written report on a case-by-case basis.

NORTH CAROLINA *Environmental Quality*

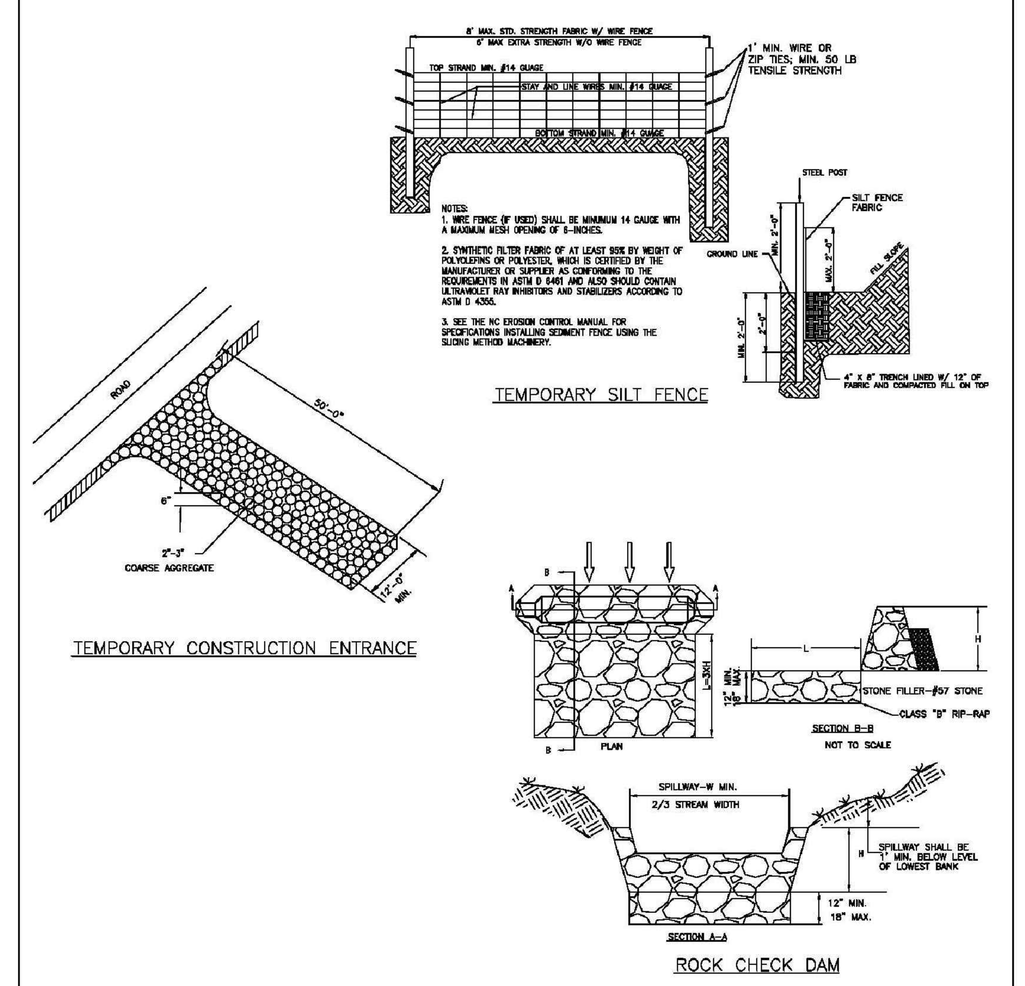
EFFECTIVE DATE: 11/12/2020

NCG-01 RECORDKEEPING AND REPORTING



NOTES:
1. EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS
2. 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
3. MINIMUM INSTALLATION LENGTH IS 5 FT.
4. CONCRETE TO BE 3000 PSI MIN
5. VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE

DATE: AUGUST, 2011	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DRAWN: PB/JSR	CURBING	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON N.C. 28402 (910) 341-7807
CHECKED: DEC		
SCALE NOT TO SCALE		SD 3-11

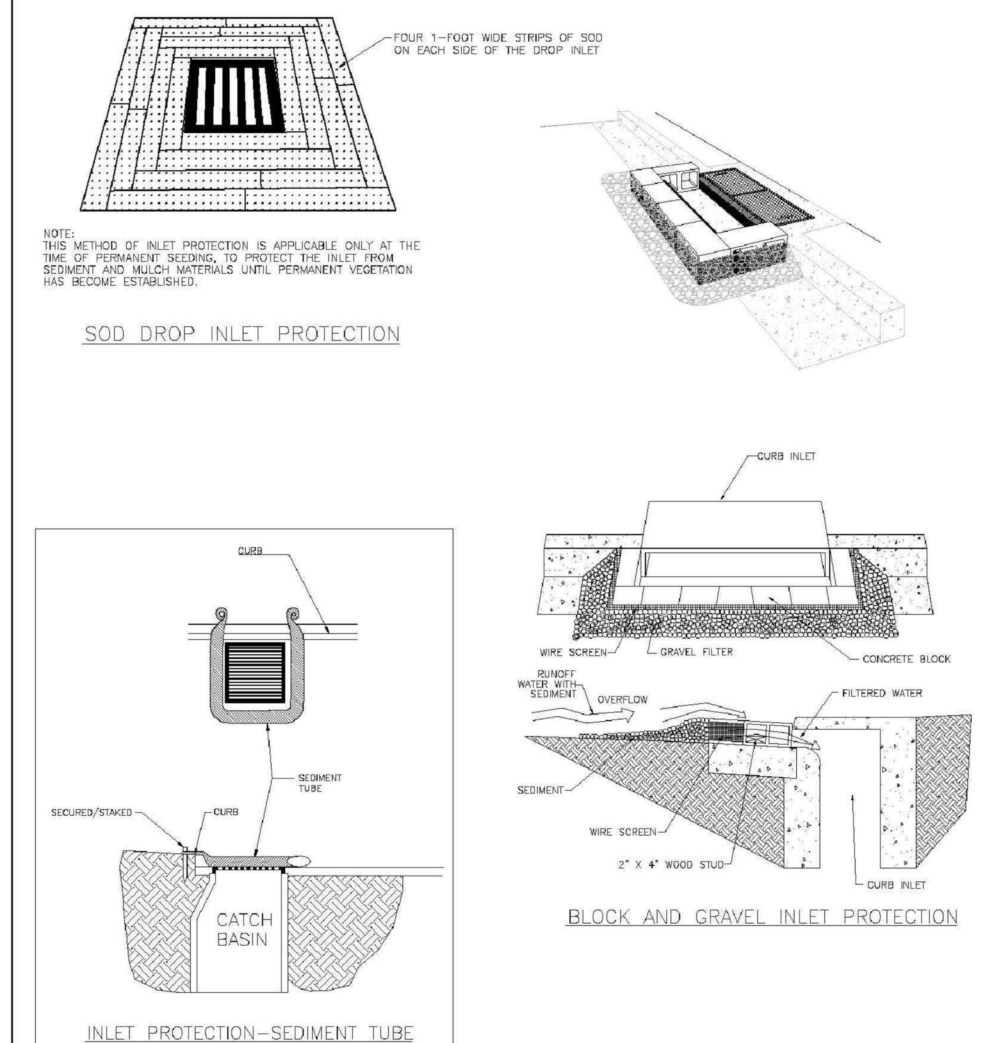


LAND DISTURBING ACTIVITIES MUST BE MANAGED TO AVOID SEDIMENT RUN-OFF AND POLLUTION FROM CONSTRUCTION SITES.

WHERE PERMITTED LOCALLY BY NEW HANOVER COUNTY, AN EROSION AND SEDIMENT CONTROL (E&SC) PLAN WILL CONTAIN DETAILS AND GUIDANCE. E&SC PLANS ARE PERFORMANCE BASED AND OFTEN REQUIRE ADJUSTMENTS OR REPAIRS.

AS PERMITTED BY NCDENR, DIVISIONS OF WATER QUALITY AND LAND RESOURCES, A STORMWATER PERMIT WILL REQUIRE SELF-MONITORING REPORTS (WEEKLY, >1" RAIN EVENT) OR SELF-INSPECTION REPORTS AFTER EACH CONSTRUCTION PHASE, BASED ON ELEMENTS OF THE E&SC PLAN.

DATE: SEPTEMBER, 2012	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DRAWN BY JSR	GUIDELINES FOR SEDIMENT CONTROL BMPs	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY DEC, P.E.		
SCALE NOT TO SCALE	SHEET 1 OF 3	SD 3-104



DATE: MAY, 2018	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DRAWN BY JSR	GUIDELINES FOR SEDIMENT CONTROL BMPs	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY DEC, P.E.		
SCALE NOT TO SCALE	SHEET 2 OF 3	SD 3-104

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
• Temporary grass seed covered with straw or other mulches and tackifiers • Hydroseeding • Rolled erosion control products with or without temporary grass seed • Appropriately applied straw or other mulch • Plastic sheeting	• Permanent grass seed covered with straw or other mulches and tackifiers • Geotextile fabrics such as permanent soil reinforcement matting • Hydroseeding • Shrubs or other permanent plantings covered with mulch • Uniform and evenly distributed ground cover sufficient to restrain erosion • Structural methods such as concrete, asphalt or retaining walls • Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS
1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
4. Provide ponding area for containment of treated Stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE
1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

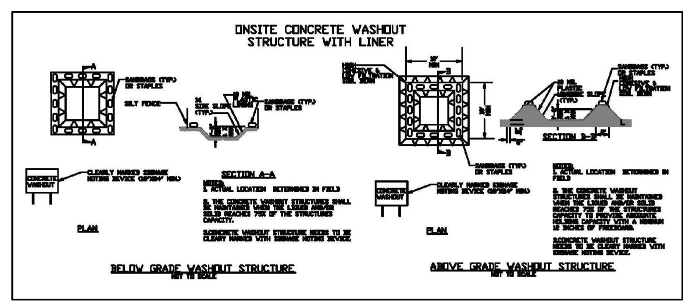
LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE
1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS
1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT
1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

NORTH CAROLINA *Environmental Quality*



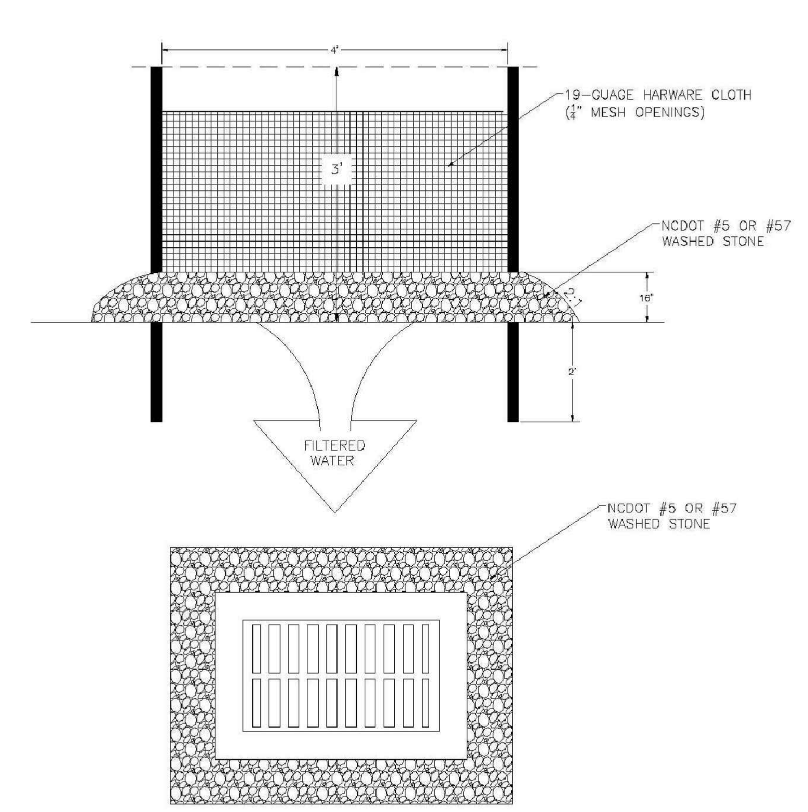
CONCRETE WASHOUTS
1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES
1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
4. Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE
1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

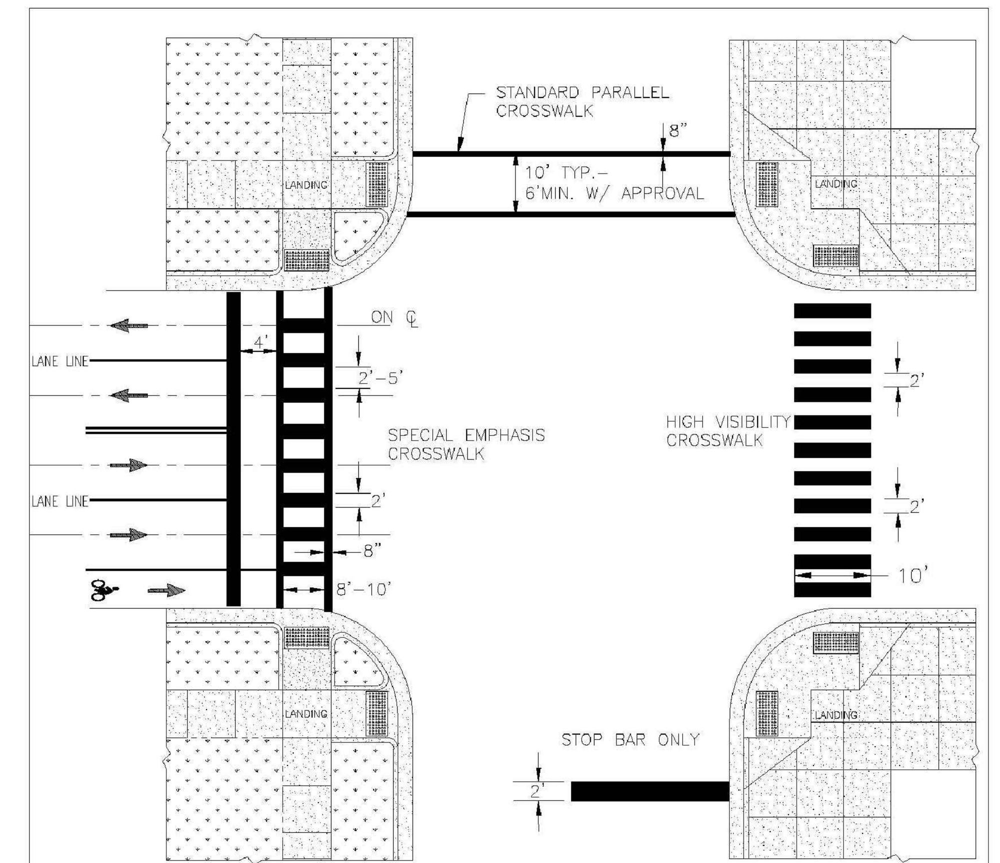
EFFECTIVE: 04/01/19



NOTES:
1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING INLET
2. DRIVE 5-FOOT STEEL POSTS (1.25 LB/LF) 2 FEET INTO GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE AND BOTTOM. PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE ARE PROPERLY AND STABILIZE IT WITH GROUNDCOVER.

HARDWARE CLOTH AND GRAVEL INLET PROTECTION

DATE: MAY, 2018	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DRAWN BY JSR	GUIDELINES FOR SEDIMENT CONTROL BMPs	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY DEC, P.E.		
SCALE NOT TO SCALE	SHEET 3 OF 3	SD 3-104



1-TYPICAL CROSSWALK DIMENSIONS ARE PROVIDED FOR REFERENCE. ALL APPLICATIONS SHALL CONSIDER PEDESTRIAN, BICYCLE AND TRAFFIC CONDITIONS AND ARE SUBJECT TO ADA GUIDELINES AND MATERIAL SPECIFICATIONS. LAYOUTS SHALL BE DIRECTED BY THE ENGINEER.
2-GENERALLY, STANDARD PARALLEL CROSSWALKS TO BE USED AT SIGNALIZED INTERSECTIONS OR WHERE CROSSWALK TRAFFIC OR CONFLICT POINTS ARE AVERAGE. SPECIAL EMPHASIS CROSSWALKS AND HIGH VISIBILITY CROSSWALKS ARE NEEDED AT BUSY SIGNALIZED INTERSECTIONS AND WHERE BICYCLE AND PEDESTRIAN TRAFFIC REQUIRES INCREASED VISIBILITY.

DATE: FEBRUARY, 2012	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DRAWN BY JSR	CROSSWALK PAVEMENT MARKINGS	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY BDR, P.E.		
SCALE NOT TO SCALE		SD 11-11

CITY OF WILMINGTON NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date:____________ Permit #__________________

Signed: ________________________________

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

TEMPORARY SEEDING

GRASS TYPE	AMOUNT/1000 SF	TIME OF SEEDING	INITIAL	FERTILIZATION/1000 SF MAINTENANCE		
RYE GRAIN	1-2 LBS	NOV. THRU JAN.	25 LBS 10-10-10	N/A	N/A	N/A
BROWN TOP MILLET	1-2 LBS	JUNE THRU AUG.	25 LBS 10-10-10	N/A	N/A	N/A

PERMANENT SEEDING

GRASS TYPE	AMOUNT/1000 SF	TIME OF SEEDING	INITIAL	FERTILIZATION/1000 SF MAINTENANCE		
BERMUDA, COMMON	1-2 LBS	APR. THRU JUNE	25 LBS 10-10-10	MARCH-APRIL 12 LBS 10-10-10	EACH 4-8 WKS 1-2 LBS N.	AUG- SEPT 12 LBS 10-10-10
FESCUE, TALL (KENTUCKY 31)	5-7 LBS	SEPT THRU OCT FEB THRU OCT	25 LBS 10-10-10	FEB - MARCH 12 LBS 10-10-10	MAY & DEC 1/2 TO 1 LB. N.	SEPT - OCT 12 LBS 10-10-10
SERICEA LESPEDEZA (SLOPES)	1-2 LBS	MARCH THRU APR.	25 LBS 10-10-10	FEB - MARCH	1/2 TO 1 LB. N.	N/A

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV NO.	DESCRIPTION	DATE

REVISIONS

102 WRIGHT STREET - OWNER: DTSC LLC
THE BLOCK ON FRONT

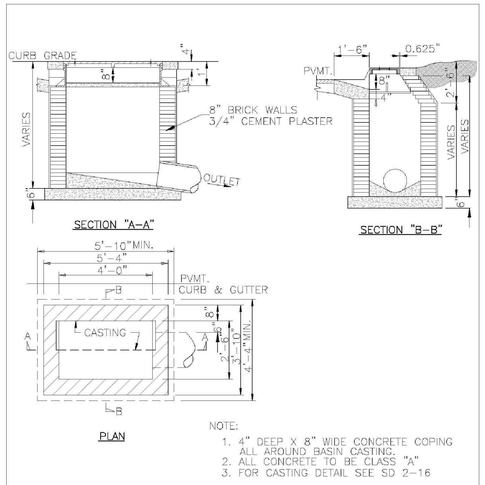
WILMINGTON NEW HANOVER NORTH CAROLINA

DETAILS

RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

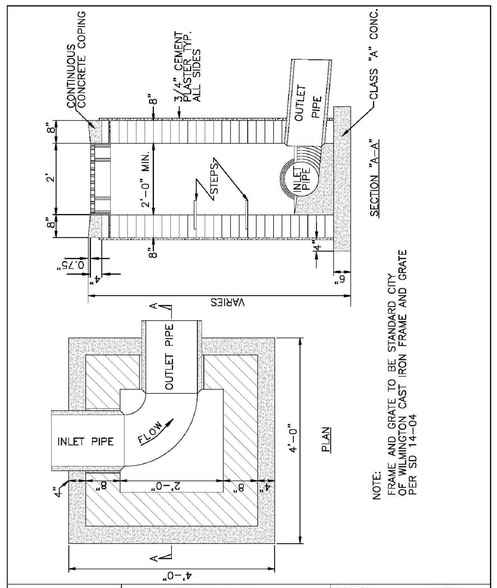
DATE: 8/8/22
Scale: SHOWN
Drawn: NNC
Checked: WSL
Project No: HA0121

Sheet No: D2



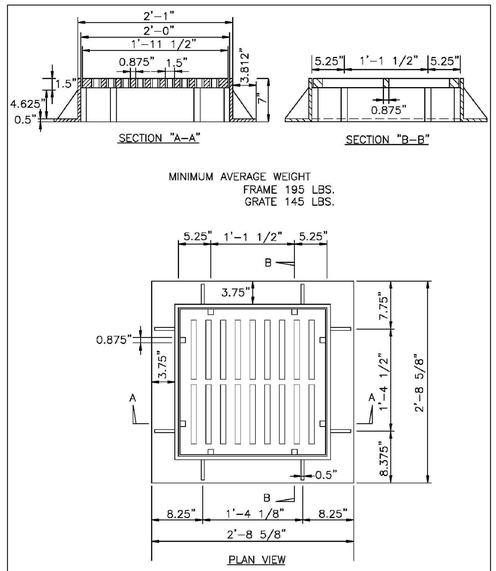
NOTE:
1. 4" DEEP X 8" WIDE CONCRETE COPING ALL AROUND BASIN CASTING.
2. ALL CONCRETE TO BE CLASS "A"
3. FOR CASTING DETAIL SEE SD 2-16

DATE: 2006	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DRAWN BY JSR/CMR	CATCH BASIN	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY B.P., P.E.		
SCALE NOT TO SCALE		SD 2-01

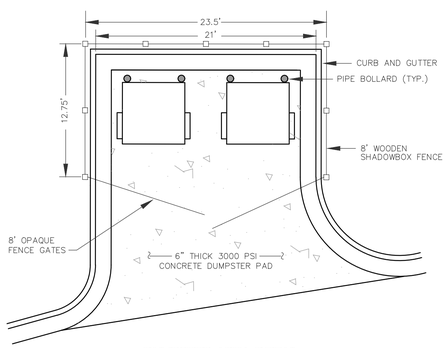


NOTE:
FRAME AND GRATE TO BE STANDARD CITY OF WILMINGTON CAST IRON FRAME AND GRATE PER SD 14-04

DATE: 2001	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DRAWN BY JSR	DROP INLET	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY B.P., P.E.		
SCALE NOT TO SCALE		SD 2-02



DATE: 2001	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA
DRAWN BY JSR/CMR	DROP INLET CASTINGS	CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807
CHECKED BY B.P., P.E.		
SCALE NOT TO SCALE		SD 14-04



DUMPSTER AREA DETAIL
NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date:_____ Permit #_____
Signed: _____

Approved Construction Plan

	Name	Date
Planning		
Traffic		
Fire		

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV NO.	DESCRIPTION	DATE

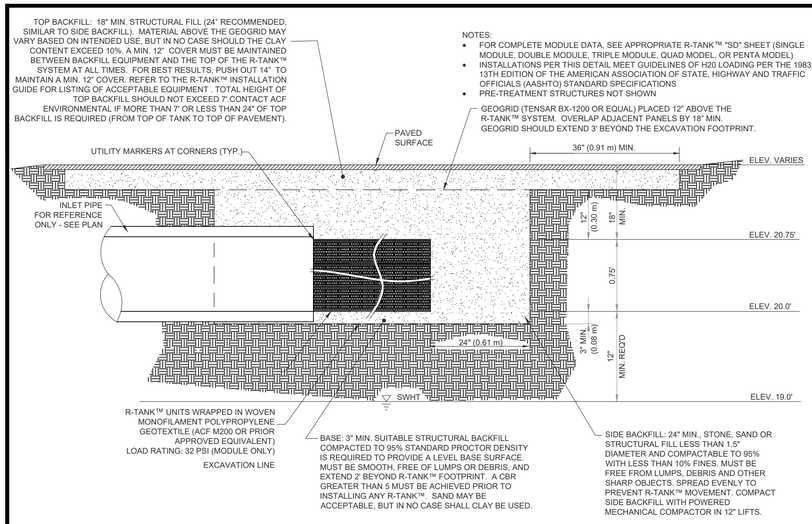
REVISIONS

102 WRIGHT STREET – OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NEW HANOVER NORTH CAROLINA

DETAILS

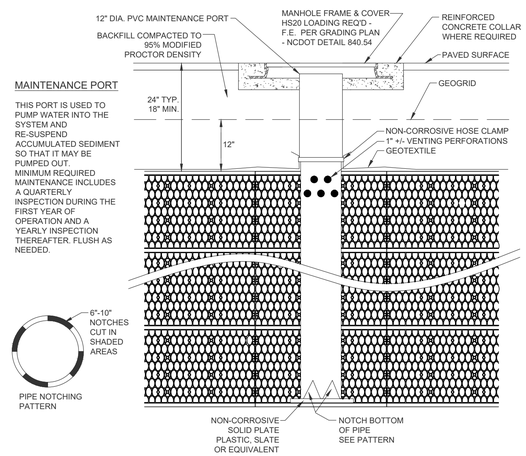
RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

DATE:	8/8/22
Scale:	SHOWN
Drawn:	NNC
Checked:	WSL
Project No:	HA0121
Sheet No:	D3



INFILTRATION GALLERY H20 LOADS

NOT TO SCALE

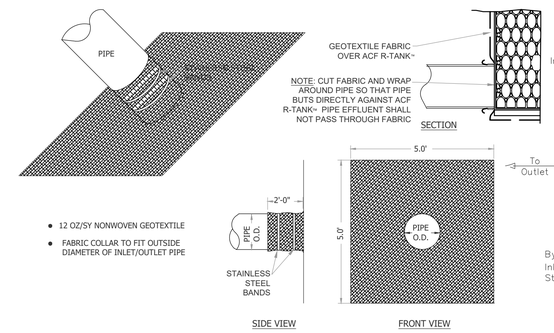


MAINTENANCE PORT

THIS PORT IS USED TO PUMP WATER INTO THE SYSTEM AND RE-SUSPEND ACCUMULATED SEDIMENT SO THAT IT MAY BE PUMPED OUT. MINIMUM REQUIRED MAINTENANCE INCLUDES A QUARTERLY INSPECTION DURING THE FIRST YEAR OF OPERATION AND A YEARLY INSPECTION THEREAFTER. FLUSH AS NEEDED.

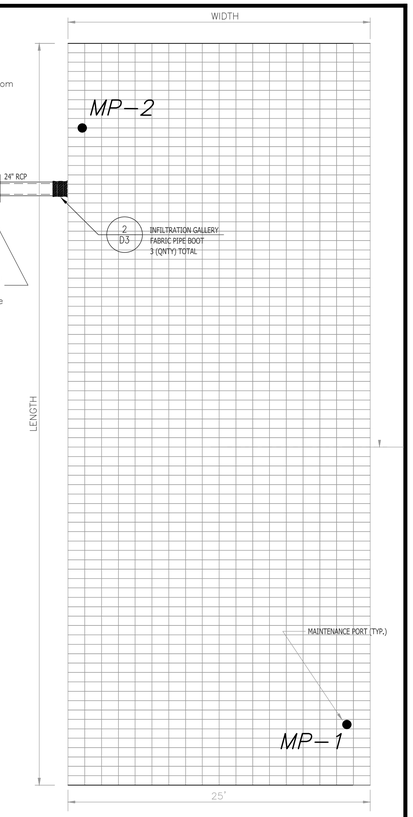
INFILTRATION GALLERY – MAINTENANCE PORT

NOT TO SCALE



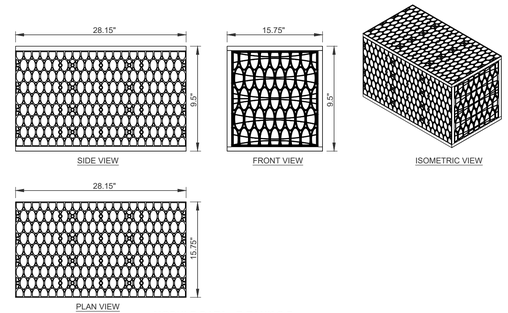
INFILTRATION GALLERY – FABRIC PIPE BOOT

NOT TO SCALE



INFILTRATION GALLERY LAYOUT

NOT TO SCALE



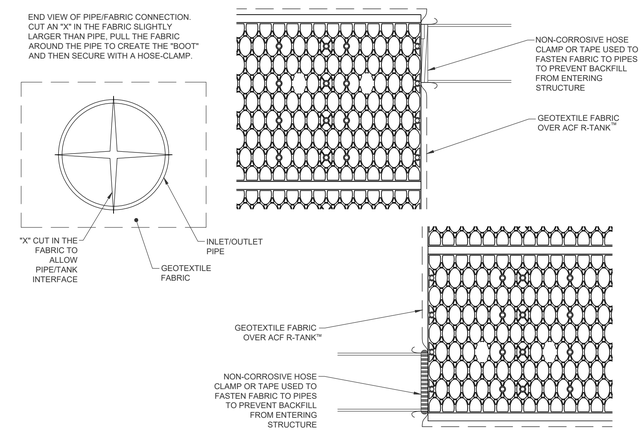
MODULE DATA - R-TANK S.D.

GEOMETRY: LENGTH = 28.15 IN. (715 MM) WIDTH = 15.75 IN. (400 MM) HEIGHT = 9.5" IN. (241.3 MM) STORAGE VOLUME = 2.42 CF (68.5 L) VOID INTERNAL VOLUME: 95% VOID SURFACE AREA: 90%	**LOAD RATING**: 40 PSI, (MODULE ONLY) HS25, (WITH ACF COVER SYSTEM) **MATERIAL**: 85% RECYCLED POLYPROPYLENE

NOTE:
INFILTRATION GALLERY SHALL BE R-TANK HD SINGLE MODULE OR PRIOR APPROVED EQUIVALENT.

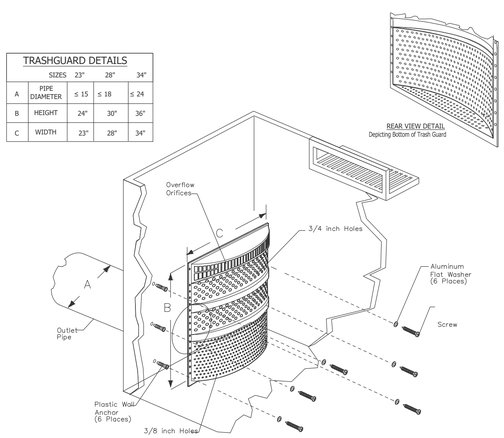
INFILTRATION GALLERY – SINGLE MODULE

NOT TO SCALE



INFILTRATION GALLERY INLET/OUTLET DETAIL

NOT TO SCALE



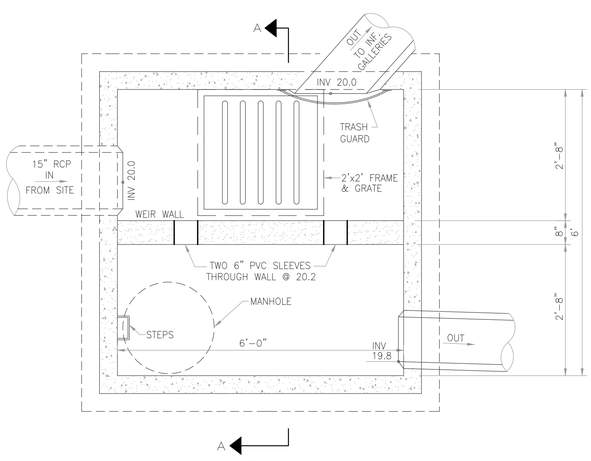
TRASHGUARD DETAILS

	SIZES	23"	28"	34"
A	PIPE DIAMETER	≤ 15	≤ 18	≤ 24
B	HEIGHT	24"	30"	36"
C	WIDTH	23"	28"	34"

TRASH GUARD IN INLET STRUCTURE

NOT TO SCALE

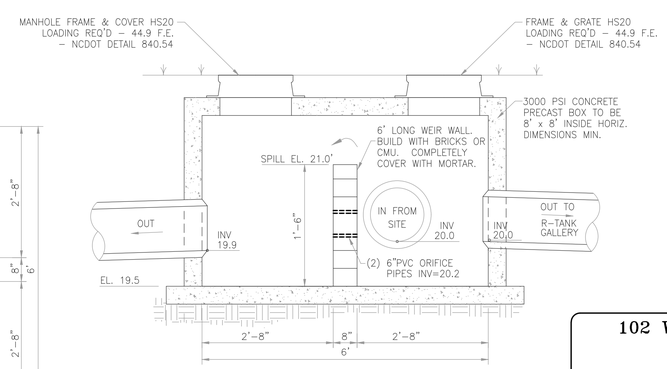
SYSTEM	STORAGE VOLUME	LENGTH	WIDTH	BOTTOM ELEV.	O.S. SPILLWAY ELEV.	MODULE HEIGHT
DA-1	1430 CF	53.3	38	20.0.	21.0	1 (9.5")
DA-2	911 CF	53.3	18.3	20.0.	21.0	1 (9.5")
DA-3	1423 CF	54	35	20.0.	21.0	1 (9.5")
DA-4	2400 CF	48	35	20.0.	21.5	2 (19")



PLAN

INLET STRUCTURE

NOT TO SCALE



SECTION A – A

NOT TO SCALE

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV NO.	DESCRIPTION	DATE

REVISIONS

N

CITY OF WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date:_____ Permit #_____
Signed: _____

Approved Construction Plan

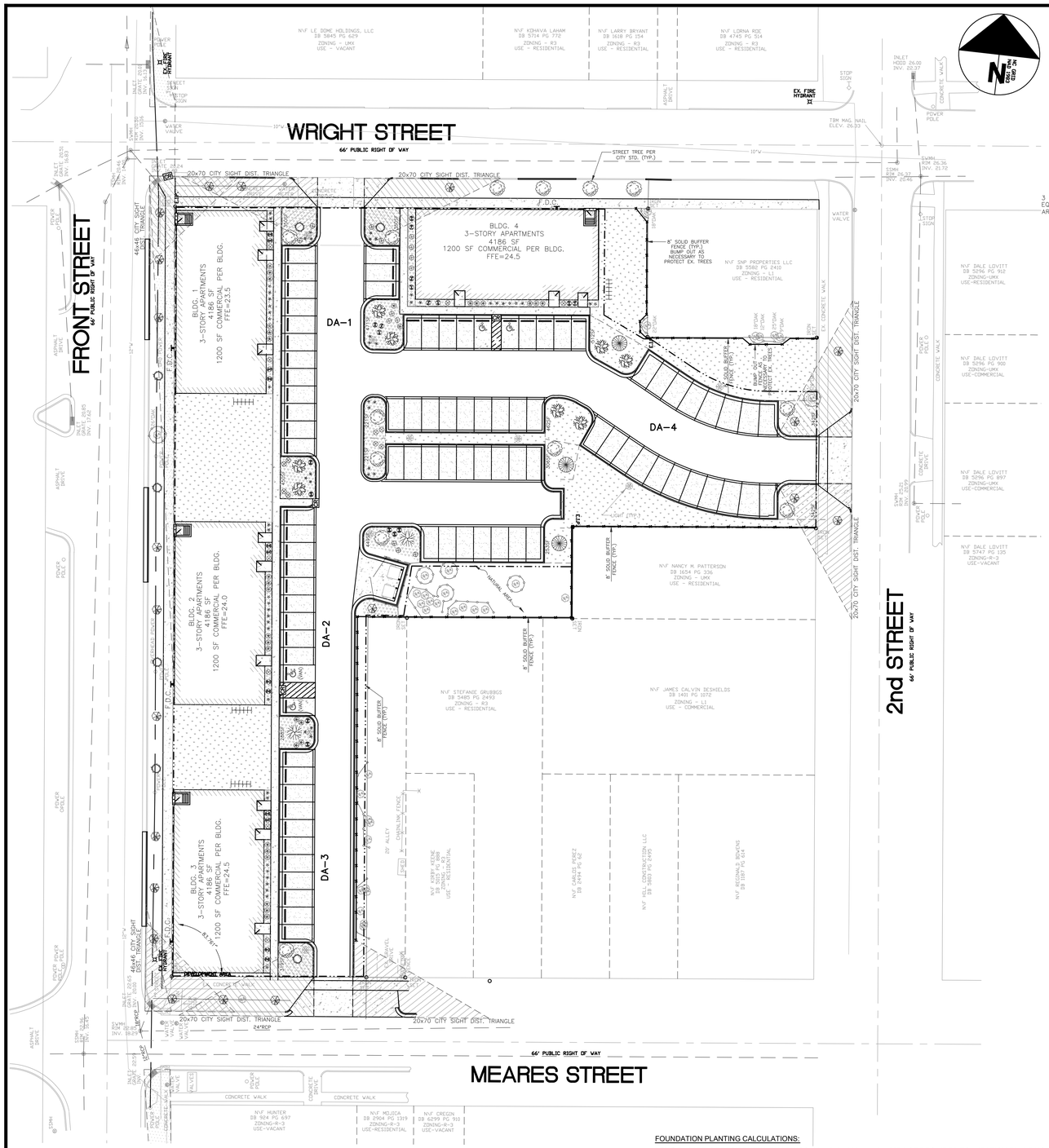
	Name	Date
Planning		
Traffic		
Fire		

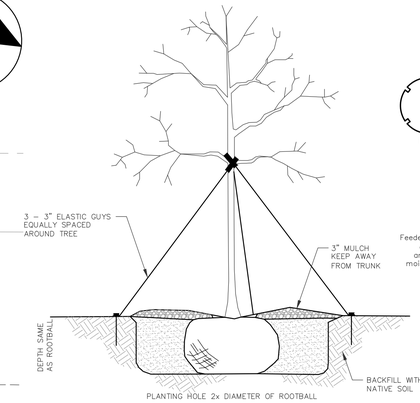
102 WRIGHT STREET – OWNER: DTSC LLC
THE BLOCK ON FRONT
WILMINGTON NEW HANOVER NORTH CAROLINA

SITE DETAILS

RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251-8544 FAX (910) 251-2208 FIRM: C-0829

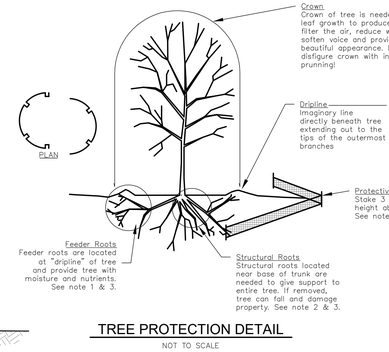
DATE: 8/8/22
Scale: SHOWN
Drawn: NNC
Checked: WSL
Project No: HA0121
Sheet No: D4





TREE PLANTING AND STAKING DETAIL

NOT TO SCALE



TREE PROTECTION DETAIL

NOT TO SCALE

SITE DATA TABLE	
PIN	R05413–015–005–000
OWNER	DTSC, LLC
OWNER ADDRESS	401 CHESTNUT ST., SUITE A WILMINGTON, NC 28401
SITE ADDRESS	102 WRIGHT ST. WILMINGTON, NC 28401
ZONING	UMX – URBAN MIXED USE
CURRENT LAND USE	VACANT
ACREAGE	80,213 SF = 1.84 AC.
REQUIRED SETBACKS	0' – ALL SIDES
EXISTING BLDG.	0
EX. GRAVEL DRIVE	10,500 SF
TOTAL EX. IMPERVIOUS	10,500 SF
EX. IMPERVIOUS TO BE REMOVED	10,500 SF
REMAINING EX. IMPERVIOUS	0 SF
PROPOSED UNITS	4 3–STORY UNITS
INFORMATION PER UNIT	
TOTAL BUILDING FOOTPRINT	4,186 SF
BUILDING HEIGHT	34'
COMMERCIAL SPACE	4800 SF
2–BEDROOM UNITS	5
1–BEDROOM UNITS	3
STUDIO UNITS	8
TOTAL BEDS	21
TOTAL PROJECT BEDROOMS	84
SF PER FLOOR	4,186 SF
TOTAL BUILDING SF (FOOTPRINT)	16,744 SF
IMPERVIOUS PAVEMENT	14,900 SF
CONCRETE SIDEWALK	2,175 SF
CONCRETE CURB AND GUTTER	3,524 SF
TOTAL IMPERVIOUS	37,343 SF
PERVIOUS CONCRETE (PARKING)	13,880 SF
LOT COVERAGE/PROP. BUILT–UPON AREA	37,343 SF = .86 AC = 63.9%
TOTAL PARKING SPACES PROVIDED	91 (INCLUDING ADA)
ADA PARKING SPACES PROVIDED	(4) 2 REGULAR / 2 VAN SPACES
BICYCLE PARKING REQUIRED/PROVIDED	4/20
DISTURBED AREA	85,620 SF = 1.97 AC.
BUILDING CONSTRUCTION TYPE	WOOD FRAMED, NC TYPE V–B
CAMA LAND USE DESIGNATION	URBAN
ESTIMATED TRIP GENERATION	
RESIDENTIAL	422 TOTAL, 29AM PEAK, 37PM PEAK
COMMERCIAL – GENERAL OFFICE	26 TOTAL, 4AM PEAK, 4PM PEAK
COMMERCIAL – RETAIL	106 TOTAL, 16AM PEAK, 79PM PEAK
DEVELOPED AREA	70,485 SF = 1.6 AC.

1. THIS PROPERTY LIES INSIDE THE 1945 CORPORATE LIMITS.
2. THERE ARE NO CONSERVATION RESOURCES ON THE SITE.
3. THERE ARE NO LOCAL, STATE OR FEDERALLY RECOGNIZED HISTORIC STRUCTURES OR ARCHEOLOGICAL RESOURCES ON THIS SITE.
4. THERE ARE NO WETLANDS ON THIS SITE.
5. NO ENDANGERED SPECIES OR CRITICAL HABITAT OCCUR ON THIS SITE.
6. EXISTING SIDEWALK ON MEARES ST. NO ADDITIONAL TRANSIT FACILITES EXIST.
7. ALL UTILITY AND EQUIPMENT WILL BE CONTAINED ON THE SITE.
8. ALL PERIMETER SIDEWALKS TO BE 5' WIDE TO BE CONSISTENT WITH EXISTING SIDEWALKS ON THE BLOCK.
9. INTERIOR SIDEWALKS TO BE 4' WIDE.
10. PERVIOUS CONCRETE PARKING IS GETTING 100% PERVIOUS CREDIT.

SURVEY BY HANOVER DESIGN SERVICE, P.A.
1123 FLORAL PARKWAY
WILMINGTON, NC 28403
910–343–8002

TREE PROTECTION DURING CONSTRUCTION

1. CLEARLY MARK THE TREE TO BE SAVED PRIOR TO CONSTRUCTION AND ERECT A PROTECTIVE BARRIER AT THE DRIPLINE. DO NOT COMPACT SOILS BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO HEAVY MATERIALS SHALL BE STORED BENEATH TREES. RESULTS OF COMPACTION CAUSE WATER AND AIR NOT TO REACH THE ROOTS AND THE TREE WILL DIE. THESE "FEEDING ROOTS" OCCUR WELL AWAY FROM THE BASE OF THE TREE TO THE EDGE OF THE OVERHEAD BRANCH CANOPY. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. THE PROTECTIVE BARRIER SHOULD PREVENT DAMAGE FROM OCCURRING DURING CONSTRUCTION.

2. NO CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK. REMOVAL OF THESE ROOTS ALONG ONE SIDE IS OFTEN DONE BECAUSE OF A WALK, PAVING OR BUILDING WHICH IS BEING CONSTRUCTED THESE ARE ESSENTIAL IN SUPPORTING THE TREE AND HOLDING IT UPRIGHT IN HIGH WINDS.

3. AVOID CUT AND FILL WITHIN DIAMETER OF TREE CROWN DURING EXCAVATION.

LANDSCAPE MAINTENANCE

1. ALL EXISTING VEGETATION THAT IS USED TO MEET LANDSCAPING REQUIREMENTS, ALL REQUIRED PLANTED LIVING MATERIAL AND ALL REQUIRED BERMS SHALL BE MAINTAINED BY THE OWNER OF THE PROPERTY ON A CONTINING BASIS. ANY PLANTED MATERIAL THAT BECOMES DAMAGED OR DISEASED OR DIES SHALL BE REPLACED BY THE OWNER WITHIN 60 DAYS OF THE OCCURRENCE OF SUCH CONDITION. IF, IN THE OPINION OF THE ZONING ADMINISTRATOR, THERE ARE SEASONAL CONDITIONS WHICH WILL NOT PERMIT THE TIMELY REPLACEMENT OF THE VEGETATION, THIS REQUIREMENT MAY BE ADMINISTRATIVELY WAIVED UNTIL A TIME CERTAIN WHEN THE REPLANTING WOULD BE SUCCESSFUL.

2. ARTIFICIAL FENCING AND NONLIVING SCREENING BUFFERS SHALL BE MAINTAINED, CLEANED AND REPAIRED BY THE OWNER OF THE PROPERTY ON A CONTINUING BASIS. SUCH FENCING SHALL BE KEPT FREE OF LITTER AND ADVERTISING.

TREE RETENTION, REMOVAL AND PLANTINGS

1.6 ACRES DEVELOPED. 1.6 x 15 TREES PER ACRE = 24 TREES REQUIRED
58 TOTAL NEW TREES PROVIDED / 28 NEW TREES EXCLUDING STREETYARD

ON-SITE TREES

THREE DEAD TREES TO BE REMOVED: (2) 18" OAKS, (1) 14" OAK

SIGNIFICANT TREES REMOVED: (1) 25" OAK

REGULATED TREES TO BE REMOVED:
21" OAK: 2
17" OAK: 1
15" OAKS: 2
14" OAKS: 3
12" OAKS: 2
10" OAK: 1
8" OAK: 1

REGULATED TREES TO BE PRESERVED:
22" OAKS: 2 CREDIT: 8
20" OAKS: 2 CREDIT: 8
19" OAKS: 2 CREDIT: 8
18" OAKS: 3 CREDIT: 12
17" OAKS: 2 CREDIT: 6
12" OAKS: 3 CREDIT: 9
11" OAKS: 2 CREDIT: 4
10" OAKS: 2 CREDIT: 4
9" OAKS: 3 CREDIT: 6
8" OAKS: 3 CREDIT: 6
11" PECAN: 1 CREDIT: 2

ADDITIONAL TREES TO BE PRESERVED:
6" OAKS: 1 CREDIT: 2

TOTAL CREDITS: 75

OFF-SITE TREES

SIGNIFICANT TREES REMOVED: (1) 25" DISEASED ELM (PER AARON REESE)

SIGNIFICANT TREES TO BE PRESERVED:
26" OAK: 1
25" OAK: 1

DOCUMENTED TREES TO BE PRESERVED:
17" OAKS: 2
9" OAKS: 3

LANDSCAPING LEGEND

SYMBOL	SPECIFICATION	QUANTITY				
LARGE CANOPY		PARKING	FOUNDATION	STREETYARD	ADDITIONAL	TOTAL
	DARLINGTON OAK QUERCUS LAURIFOLIA HEIGHT 30-50 SPREAD 25-30	9		4		13
	SOUTHERN MAGNOLIA MAGNOLIA GRANDIFLORA HEIGHT 50-60 SPREAD 30-40	3				3
	RIVER BIRCH BETULA NIGRA HEIGHT 50-60 SPREAD 30-50	2				2
	WATER OAK QUERCUS NIGRA HEIGHT 70-100 SPREAD 40-60	8				8
SMALL CANOPY		PARKING	FOUNDATION	STREETYARD	ADDITIONAL	TOTAL
	CRAPE MYRTLE LAGERSTROEMIA INDICA HEIGHT 20-35 SPREAD 12-15	2		22	1	25
	EASTERN RED BUD CERCIS CANADENSIS HEIGHT 20-25 SPREAD 15-20	3		4		7
SHRUBS		PARKING	FOUNDATION	STREETYARD	ADDITIONAL	TOTAL
	DWARF JAPANESE PITTOSPORUM PITTOSPORUM TOBIRA 'WHEELER'S DWARF' HEIGHT 2-3 SPREAD 4-5	18	10			28
	MODGE 'ENCORE' AZALEA RHODODENDRON 'AUTUMN JEWEL' 'AUTUMN ANGEL'. SEE NOTE #X HEIGHT 3-4 SPREAD 3-4	21	23			44
	CAPE JASMINE GARDENIA JASMINOIDES 'SHERIDAN'S HARDY' HEIGHT 2-3 SPREAD 2-3	6	18			24
	INDIAN HAWTHORNE RHAPHIOLEPISS INDICA 'CONOR' 'ELEANOR TABOR' HEIGHT 3-5 SPREAD 2-3	10	16			26
MISC.						
	TREE PROTECTION FENCING SEE NOTE 9 BELOW					
	GRASS					
	MULCH					
	CITY OF WILMINGTON SIGHT DISTANCE TRIANGLES					
	AASHTO SIGHT DISTANCE TRIANGLES FOR 35 MPH SPEED LIMIT					

LANDSCAPE NOTES

1. LARGE CANOPY TREES TO BE MIN. 2" - 2.5" DBH AT PLANTING.
2. SMALL CANOPY AND MULTI-TRUNKED TREES TO BE MINIMUM 8' - 10' TALL AT PLANTING.
3. SHRUBS TO BE MIN. 12" TALL AT TIME OF PLANTING.
4. SHRUBS WITHIN FOUNDATION AREAS TO BE SPACED AROUND PROPOSED UTILITIES.
5. APPLY NATURAL MULCH 4" DEEP, 4' DIAMETER AROUND INTERIOR TREES.
6. SHRUBS WITHIN SIGHT TRIANGLE TO BE MAINTAINED LESS THAN 30" TALL.
7. LIMB UP TREES AS NESSARY TO MAINTAIN VISION CLEARANCE BETWEEN 30" AND 10' WITHIN CITY SIGHT TRIANGLES.
8. CLEARANCE WITHIN AASHTO SIGHT TRIANGLES MUST BE MAINTAINED BETWEEN 36" AND 8'.
9. TREE PROTECTION FENCING IS REQUIRED AT A RATE OF ONE FOOT PER DIAMETER INCH AROUND THE PROTECTED TREES. REFER TO DRAWING MEASUREMENTS OF TREES.

FOUNDATION PLANTING CALCULATIONS:

LONG FACADE OF RESIDENTIAL BUILDINGS: 90' x 34' = 3060 x .12 = 367.2 SF REQUIRED FOUNDATION PLANTING.
BUILDINGS 1, 2 AND 3: WIDTH OF FOUNDATION PLANTING AREA = 4.25'.
90 x 4.25' = 382.5 SF FOUNDATION PLANTING AREA PROVIDED.

BUILDING 4: WIDTH OF FOUNDATION PLANTING AREA = 4.45'.
90 x 4.45' = 400.5 SF FOUNDATION PLANTING AREA PROVIDED.

SHORT (WEST) FACADE OF BUILDING 4: 45.6' x 34' = 1550.4 x .12 = 186 SF REQUIRED FOUNDATION PLANTING.
BUILDINGS 1, 2 AND 3: WIDTH OF FOUNDATION PLANTING AREA = 4.25'.
LENGTH OF BED = 50' 50 x 4' = 200 SF FOUNDATION PLANTING AREA PROVIDED.

STREETYARD PLANTING CALCULATIONS:

FRONT STREET FRONTAGE = 410'. AT RATE OF 1 TREE PER 30', 14 TREES REQUIRED AND PROVIDED.
MEARES STREET FRONTAGE (EXCLUDING DRIVE) = 70.6'. 70.6 / 30 = 3 TREES REQUIRED AND PROVIDED.
WRIGHT STREET FRONTAGE (EXCLUDING DRIVE) = 200'. 200 / 30 = 7 TREES REQUIRED AND PROVIDED.
2ND STREET FRONTAGE (EXCLUDING DRIVE) = 57'. 57 / 30 = 2 TREES REQUIRED AND PROVIDED.

30 15 0 30 60

GRAPHIC SCALE: 1" = 30'

FOR REGULATORY REVIEW - NOT FOR CONSTRUCTION

REV NO.	DESCRIPTION	DATE

REVISIONS

Approved Construction Plan

Name Date

Planning

Traffic

Fire

CITY OF WILMINGTON NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

102 WRIGHT STREET – OWNER: DTSC LLC

THE BLOCK ON FRONT

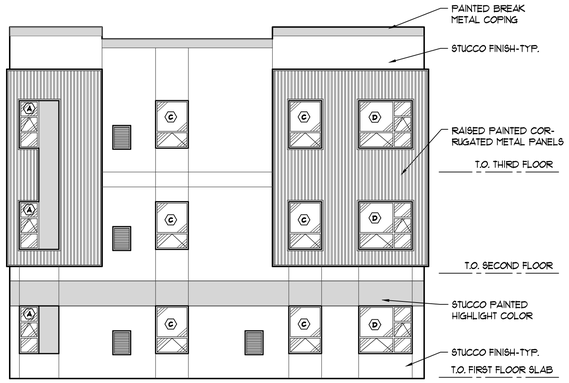
WILMINGTON NEW HANOVER COUNTY NORTH CAROLINA

LANDSCAPING PLAN

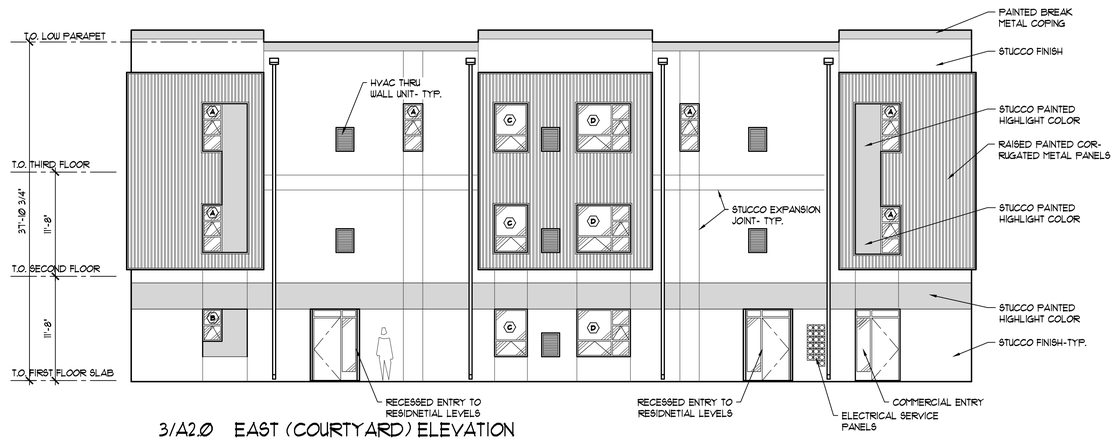
RIGHT ANGLE ENGINEERING, P.C.
212 PRINCESS STREET
WILMINGTON, NC 28401
(910) 251–8544 FAX (910) 251–2208 FIRM: C–0829

DATE: 8/8/22
Scale: 1"=30'
Drawn: NNC
Checked: WSL
Project No: HA0121
Sheet No: L1

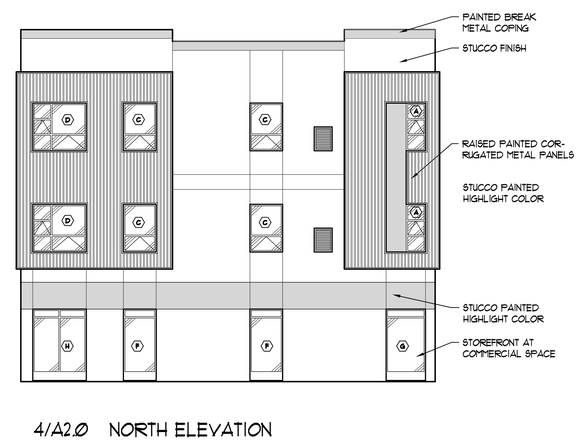
1/A2.0 WEST (STREET) ELEVATION
E:ELEVBD01 SCALE: 1/8" = 1'-0"



2/A2.0 SOUTH ELEVATION
E:ELEVBD01 SCALE: 1/8" = 1'-0"



3/A2.0 EAST (COURTYARD) ELEVATION
E:ELEVBD01 SCALE: 1/8" = 1'-0"



4/A2.0 NORTH ELEVATION
E:ELEVBD01 SCALE: 1/8" = 1'-0"

HIPP ARCHITECTURE & DEVELOPMENT, PC
228 N. FRONT STREET, SUITE 301
WILMINGTON, NC 28401
(910) 763 8968 VOICE
(910) 777 5450 FAX

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J. CLARK HIPP
REGISTERED ARCHITECT
6056
NORTH CAROLINA
WILMINGTON N.C.
07JULY2022

A	ISSUE FOR PERMITTING	07 JULY 2022

HIPP ARCHITECTURE & DEVELOPMENT PC
REGISTERED ARCHITECTURAL CORPORATION
CERT. NO.
50932
NORTH CAROLINA
WILMINGTON, NC

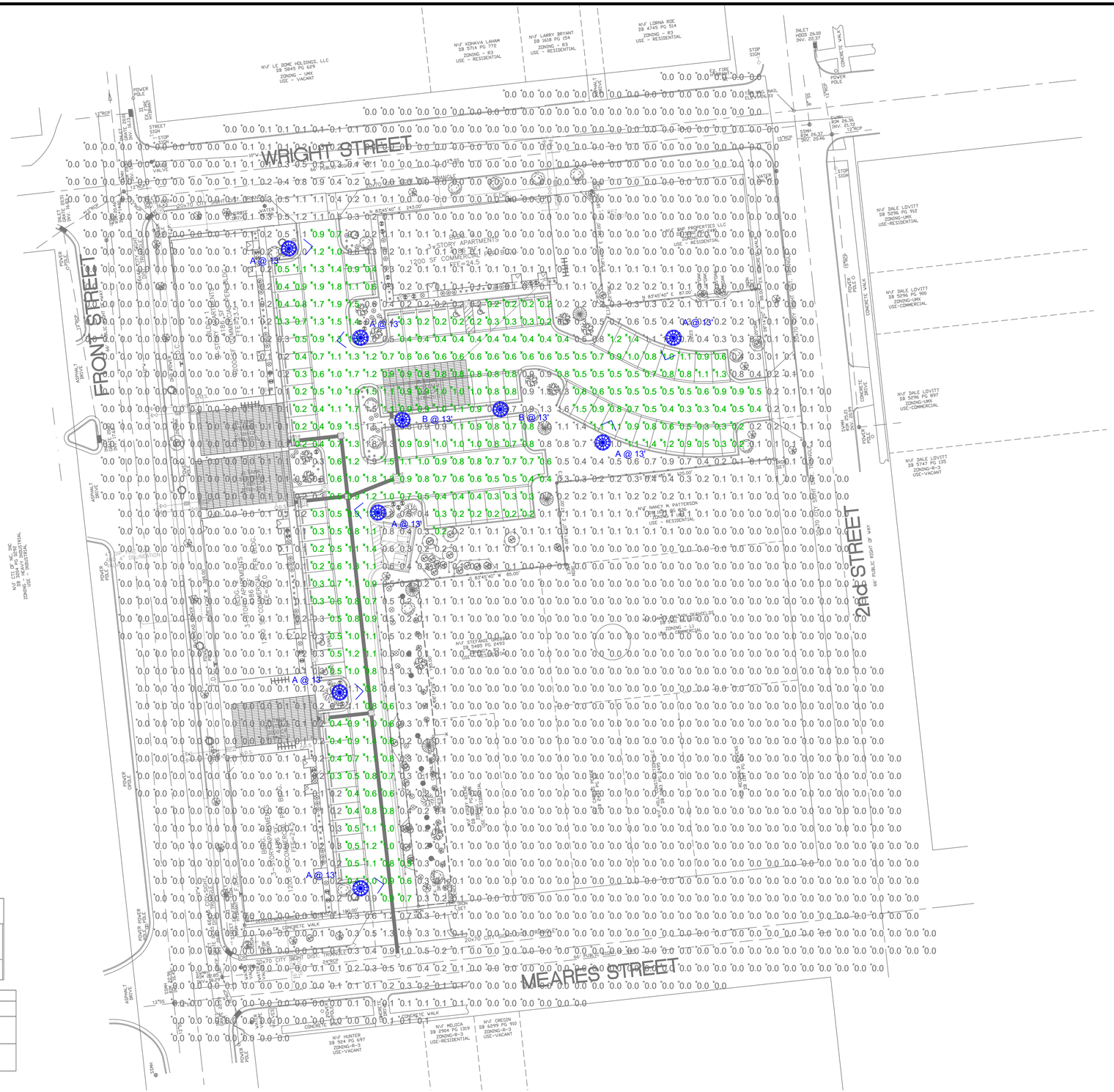
THE BLOCK @ FRONT APARTMENTS
120 WRIGHT STREET
WILMINGTON, NC 28401

EXTERIOR ELEVATIONS

PROJECT #

A2.0

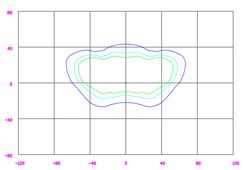
ISSUANCE: A



ISOFOOTCANDLE CURVES

FIXTURE: MITCHELL LED w/TOP HAT
MOUNTING HEIGHT: 13 FT
LIGHT SOURCE: 50W LED'S, 3000K
PATTERN TYPE III, B2-U4-G3 ASSY # LFIX-MTCHT-LED-50-BLK-III-3000K-___-P

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LAMP LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.

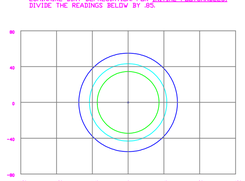


LEGEND (OUTER to INNER): 0.100 , 0.200 , 0.300

ISOFOOTCANDLE CURVES

FIXTURE: MITCHELL LED w/TOP HAT
MOUNTING HEIGHT: 13 FT
LIGHT SOURCE: 50W LED'S, 3000K
PATTERN TYPE V, B3-U3-G3 ASSY # LFIX-MTCHT-LED-50-BLK-V-3000K-___-P

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LAMP LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



LEGEND (OUTER to INNER): 0.100 , 0.200 , 0.300

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking		0.7 fc	1.9 fc	0.2 fc	9.5:1	3.5:1

Schedule

Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
	A	7	LED 50w Mitchell Top Hat - Type III - 3000K	1	6133	0.85
	B	2	LED 50w Mitchell Top Hat - Type V - 3000K	1	6209	0.85

REV#	DATE	REVISION	BY
Rev A	07/07/22	Mitchell Top Hat - 3000K - Style VII Pole	NJ

Customer approval_____
Date_____

LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

DUKE ENERGY. PROGRESS

PROPRIETARY & CONFIDENTIAL

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THE BLOCK APARTMENTS
Wilmington, NC
SITE LIGHTING PLAN

Designed by DEP LIGHTING SOLUTIONS
Reviewed by N. Johnson Scale 1" = 30'
Date 07/07/2022 Size "Arch D"
Description LED Mitchell Top Hat - Style VII Pole
Drawing No. 22-0276A Sht. 1 OF 1